

Posted: _____



**TOWN OF WIGGINS
PLANNING & ZONING COMMISSION MEETING
AGENDA**

February 20, 2024 AT 7:00 P.M.

**304 CENTRAL AVENUE
WIGGINS, CO 80654**

***NOTE: DUE TO THE LIMITED SEATING CAPACITY, THE PUBLIC IS HIGHLY
ENCOURAGED TO ATTEND THE MEETING VIA ZOOM***

GO TO <https://us06web.zoom.us/j/89282044351> FOR THE MEETING LINK

MEETING AGENDA

I. INTRODUCTIONS

1. Call the Meeting to Order
2. Pledge of Allegiance
3. Roll Call
4. Approval of the Agenda

II. Approval of Minutes

1. Approval of the Minutes from the meeting held on January 9, 2024

III. Final Plat Hearing

1. Northridge Minor Subdivision
 - a. Final Plat

IV. ADJOURNMENT:

1. Closing Remarks by Vice Chairman and/or Commissioners, and Meeting Adjournment.



MINUTES OF MEETING

TOWN OF WIGGINS PLANNING & ZONING COMMISSION MEETING

January 9, 2024 at 7:00 p.m.

CALL TO ORDER & ROLL CALL

A regular meeting of the Planning & Zoning Commission for the Town of Wiggins, Colorado was held on Tuesday, January 9, 2024 in person. Chairman Jeff Palmer called the meeting to order at 7:07 p.m. The following Commissioners answered roll call: Chairman Jeff Palmer, Commissioners Stan Baumgartner, Jerry Avey, Dan Ronning, and Jim Musgrave. Staff present: Planning & Zoning Administrator, Hope Becker.

APPROVAL OF AGENDA

Motion was made by Commissioner Baumgartner to approve the agenda as written. Second was made by Commissioner Musgrave. Roll Call: Unanimously approved.

APPROVAL OF MINUTES FROM DECEMBER 8, 2020

Motion was made by Commissioner Musgrave to approve the minutes from January 9, 2024. Second was made by Commissioner Avey. Roll Call: Unanimously approved.

PUBLIC HEARING – CONSIDERATION OF P & Z RESOLUTION 02-2024


Staff reported that the Harrison Homes needed additional time to present a complete application for the hearing. Staff recommended the Planning & Zoning Commission motion to continue the hearing to Tuesday, February 13, 2024.

Motion was made by Commissioner Avey to move the Northridge Minor Subdivision Final Plat hearing to Tuesday, February 13, 2024. Second was made by Commissioner Baumgartner. Roll Call: Commissioner Avey, yes; Commissioner Baumgartner, yes; Commissioner Musgrave, yes; Commissioner Ronning, yet; Chairman Palmer, Abstained.

ADJOURNMENT

Chairman Jeff Palmer, upon receiving no further comments or concerns from the Commissioners, adjourned the meeting at 7:14pm.

Respectfully submitted:


Nichole Sieber, Town Clerk



**TOWN OF WIGGINS
P & Z RESOLUTION NO. 02-2024**

**A RESOLUTION RECOMMENDING APPROVAL OF A FINAL PLAT FOR THE NORTH RIDGE MINOR
SUBDIVISION**

WHEREAS, Daniel Harrison of Harrison Homes has submitted a Land Use application for a Minor Subdivision - Final plat to the Wiggins Planning & Zoning Commission for the property North Ridge Minor Subdivision; and,

WHEREAS, the Final Plat proposes to replat the following described property Lots 3, 4, 5, 6, 7 and 8 in Block 1 and Lots 2 and 3 in Block 2 of NORTH RIDGE ADDITION TO THE TOWN OF WIGGINS, COLORADO, according to the recorded plat thereof; County of Morgan, State of Colorado; and,

WHEREAS, all materials related to the proposed final plat have been reviewed by the Town Staff and found with conditions to be in compliance with the Town of Wiggins subdivision and zoning ordinances and related Town ordinances, regulations, and policies; and

WHEREAS, the Wiggins Planning & Zoning Commission held a properly noticed public hearing on the application, and has forwarded to the Board of Trustees a recommendation of approval with conditions; and

WHEREAS, after a duly-noticed public hearing, at which evidence and testimony were entered into the record, the Wiggins Planning & Zoning Commission finds that the proposed subject to certain conditions.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF WIGGINS, COLORADO, AS FOLLOWS:

Section 1. The Planning & Zoning Commission hereby recommends approval of a Final Plat for the North Ridge Minor Subdivision, subject to the conditions listed in Exhibit A.

INTRODUCED, RECOMMENDED, AND RESOLVED THIS 20TH DAY OF FEBRUARY, 2024.

TOWN OF WIGGINS, COLORADO

Stan Baumgartner, Chairman Pro Tem

ATTEST:

Nichole Seiber, Town Clerk

EXHIBIT A

1. Items that shall be completed prior to final plat submission to the Board of Trustees for approval:
 - a. As reflected in the Town Engineer's memo (Exhibit B), the utility plan and drainage report are conditionally approved pending the acquisition of land for detention/retention pond B northeast of the property via easement, purchase, or other perpetual agreement. Documentation shall be presented to the Town prior to the submission of a grading/ROW application.
 - b. A fee-in-lieu of land dedication payment to the Town shall be made prior to recording the Final Plat with Morgan County Clerk and Recorder and prior to the submission of a grading/ROW application.
 - c. Applicant shall provide a CDOT approval of the traffic impacts due to the development and applicant's implementation of any road improvements required by CDOT or written documentation from CDOT indicating they (CDOT) are satisfied with current North Ridge Development plans prior to the submission of a grading/ROW application.
 - d. A Subdivision Agreement, including updated construction costs, time-line, and performance guarantee, shall be approved by the Board of Trustees prior to the submission of a grading/ROW application.
 - e. The Homeowner's Association covenants, in final form, must be submitted to the Town for review, comment, and approved by the Town; and recorded with the Morgan County Clerk and Recorder prior to the submission of a grading/ROW application.



STAFF REPORT

Planning and Zoning Commission
February 20, 2024

DATE: February 16, 2024

AGENDA ITEM NUMBER: 3

TOPIC: Consideration of a Final Plat for the North Ridge Minor Subdivision

STAFF MEMBER RESPONSIBLE: Hope Becker, Planning & Zoning Administrator

BAKGROUND:

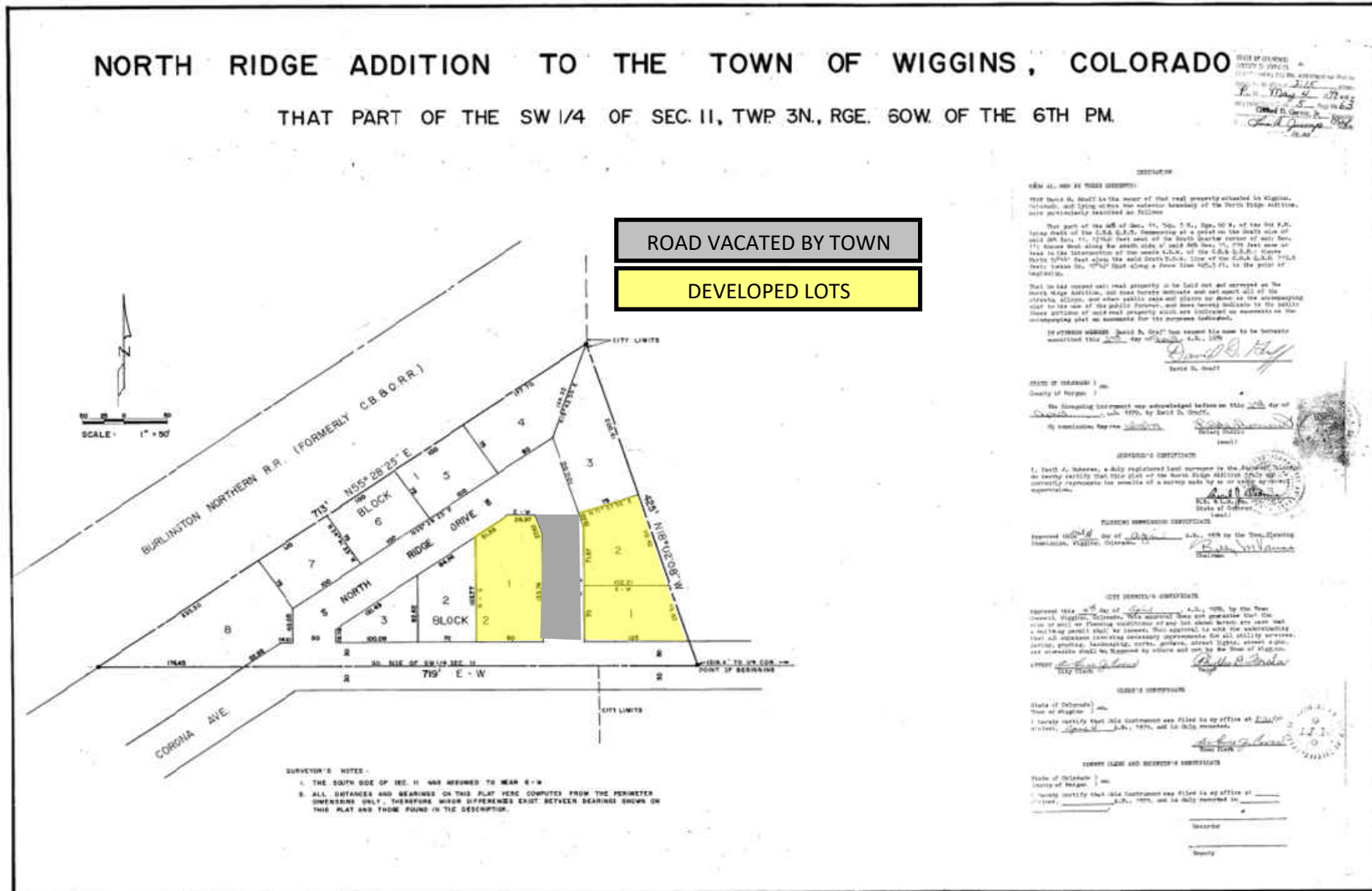
The North Ridge Minor Subdivision is located at the top of Corona Avenue. It is situated slightly northeast of the intersection of Corona Avenue and High Street. (Figure A) The North Ridge Minor Subdivision, First Addition was approved by the Town Planning and Zoning Commission and the Board of Trustees in April of 1979. It was originally made up of 11 lots. (See Figure B) There was no Land Development Code requirements at that time to do separate annexation, zoning, and final plat approvals. North Ridge Minor Subdivision was annexed and the Final Plat approved with the recorded plat as shown in Figure B.

Per the land owners request, the Board of Trustees approved an ordinance in 2006 to vacate the eastern portion of North Ridge Drive. One home was eventually developed on lots 1, block 2 and a multi-family building was built on lots 1 & 2, block 1 with the vacated portion of North Ridge Drive serving as the driveway for these lots. Although the minor subdivision was approved in 1979 and changes approved in 2006, the other lots remained vacant. (See highlighted sections of Figure B)



FIGURE A

FIGURE B



Current Application:

Daniel Harrison, of Harrison Homes, has submitted an application for a Final Plat (Figure C) to further develop North Ridge Minor Subdivision. Mr. Harrison's Development Site Plan and Final Plat depicts eight new lots that will allow for the construction of six (6) 4-plex townhomes and two outlot retention ponds to service the minor subdivision's stormwater needs.

Mr. Harrison and his team have worked with Town Staff to ensure that all development and final plat criteria will be met prior to the submission of their grading/ROW application. The development and final plat criteria include:

- A Land Development Application submitted with applicable fees and a cost share agreement.
- Submission of a Title Commitment.
- The Final Plat with utility easements identified, ownership and dedication of North Ridge Drive identified, and lot lines were moved.
- A Drainage Plan (included in Figure E of Site Development Plan) & Drainage Report (Figure D) reviewed by the Town Engineer. Outlots A & B at each end of the development are designed to capture the subdivision's stormwater. Outlot B is currently too small to handle the projected stormwater flows; therefore, the developer will need to seek alternatives to meet the minimum standards.
- A Site Development Plan (See Figure E) that identifies the site layout plan, street layout, parking plan, landscaping plan, grading plan and utility plan was submitted and reviewed. Staff worked with Harrison Homes to determine that all items on the Site Development Plan were in compliance with the Land Development Code.
- Referral Letters were sent out to all utility companies, Wiggins School District, CDOT, Town of Wiggins Public Works & Police Department, and the Wiggins Rural Fire District.
- A Subdivision Agreement is in progress. The Subdivision Agreement addresses installation, ownership, and maintenance of public and private improvements such as the water/sewer infrastructure after installation, stormwater management, streets, other utilities, and fees in lieu of land dedication. Once approved by the Board of Trustees, the Subdivision Agreement is recorded with the Morgan County Clerk and Recorder.
- A Homeowner's Association has been established and Staff has been presented a Certificate of Good Standing from the Colorado Secretary of State for the homeowner's association.

Staff Analysis

COMPREHENSIVE PLAN:

The 1991 Wiggins Comprehensive Plan supports the development of vacant (infill) lots in Wiggins. Although the 1991 Wiggins Comprehensive Plan shows the area as Single-Family Residential, the Town's 2003 Zoning map shows the area as R2-Multi-Family Zone District. The Comprehensive Plan is a living document that grows and changes with the community as it develops to help preserve and enhance the qualities and characteristics that make Wiggins a desirable place to live. Infill development is encouraged. The Comprehensive Plan describes

single-family residential gross densities as up to seven dwelling units per acre. It describes multi-family residential at gross densities of 8 to 20 dwelling units per acre.

LAND DEVELOPMENT CODE (LDC):

The final plat shows a change in the lot size compared to the original subdivision plat. By changing the lot sizes, the North Ridge Minor Subdivision lots meet the LDC's minimum development requirements such as lot sizes, structural use, and setback requirements. The final plat will also act as an instrument for the Board of Trustees to consider vacating North Ridge Drive. North Ridge Drive will become privately owned and will become the HOA's responsibility to maintain. The plat identifies the various utility easements, land ownerships and dedications.

The Land Development Code requires minor subdivisions follow the final plat application process. This is the only time the Planning and Zoning Commission will review and recommend the final plat for North Ridge Minor Subdivision, provided the Planning & Zoning Commission agrees that the applicant has met all the requirements for approval.

SUMMARY:

The Land Development Code provides Town staff and the Planning and Zoning Commission guidance to evaluate that all items required for plat approval have been met. The Planning and Zoning Commission will review the proposed final plat and make recommendations to the Board of Trustees. They may identify potential problems which must be resolved with a continuation of the Planning and Zoning Commission hearing, they may approve the resolution as written, or they may approve the resolution with additional amendments or conditions of approval.

Harrison Homes has submitted and met most of their application requirements for the Planning and Zoning hearing. The following are items that remain incomplete or are in the final stages of being completed. Staff recommends that the remaining items are added as conditions of the resolution being proposed for approval.

- The Town Engineer has determined that Outlot B, situated in the northeast section of the minor subdivision, does not meet the required minimum standards to handle the area's stormwater needs. The development's utility plan and drainage report are conditionally approved by the Town Engineer pending the acquisition of land for a detention pond as an addition to Outlot B via an easement, purchase, or other perpetual agreement. Staff suggests that Harrison Homes be required to submit a recorded easement or deed of purchase for the Outlot B addition prior to the submission of a grading/ROW application.
- CDOT responded with concerns regarding the potential rise in traffic that may affect the intersection of Main Street and Central Avenue due to the increase of residents. Harrison Homes is currently working with CDOT to determine if changes to Main Street and Central Avenue intersection will be necessary due to the increase in traffic. They have completed and submitted a traffic count study to CDOT and are awaiting CDOT's response. If CDOT determines that the development of the minor subdivision will

increase traffic at Hwy 6 and Main Street by 20% then, Harrison Homes will be required to work with CDOT and the Town to make the appropriate changes to the intersection. If CDOT determines that traffic will not be increased by 20%, then a baseline permit will be provided by CDOT to memorialize what the traffic conditions were before this development as a benchmark for future development. Staff suggests that Harrison Homes present CDOT's decision to the Town; that plans are amended if required and submitted to the Town Manager for approval prior to the submission of a grading/ROW application.

- A Subdivision Agreement (SA) is required by the LDC for subdivisions. It is reviewed and approved by the Board of Trustees. The Town has been working with Harrison Homes and drafted a SA. Although the SA is not required to be reviewed and approved by the Planning and Zoning Commission, Staff has included its approval by the Board of Trustees as a condition of the Planning and Zoning Commission's approval of the final plat. Staff suggests that the final submission of the SA be completed and approved by the Board of Trustees prior to the submission of a grading/ROW application.
- The LDC requires minor subdivisions provide land dedication or a fee-in-lieu of land dedication payment to the Town. These funds are required to be strictly used for park acquisition. Staff suggests that Harrison Homes provide the fee-in-lieu of land dedication prior to recording the Final Plat with Morgan County Clerk and Recorder and prior to the submission of a grading/ROW application.
- Homeowner Association (HOA) covenants are a LDC requirement for minor subdivisions. Staff suggests that Harrison Homes be required to submit their HOA covenants in final form and are recorded with the Morgan County Clerk and Recorder prior to the submission of a grading/ROW application.

OPTIONS AVAILABLE TO THE PLANNING & ZONING COMMISSION:

The Planning and Zoning Commission can approve the resolution as presented, modify the resolution, or elect not to adopt the resolution.

MOTION FOR APPROVAL:

I make the motion to adopt P&Z Resolution 02-2024 – A Resolution Approving Final Plat for the North Ridge Minor Subdivision.

MOTION FOR APPROVAL:

Motion, Seconded, Roll-Call Vote.

(Resolutions require affirmative votes from the majority of the Planning Commissioners present)

FIGURE C



Town of Wiggins
Planning & Zoning Department
 304 E Central Avenue * Wiggins, CO 80654
 Phone: (970) 483-6161 * Fax: (970) 483-7364
<http://townofwiggins.colorado.gov>

LAND USE APPLICATION

Please fill form out completely. Incomplete applications will not be processed.

STAFF USE ONLY		
FILE NAME: <u>NORTH RIDGE MINERAL SUBDIVISION</u>		
FILE NO: <u>VIA</u>	DATE SUBMITTED: <u>5/25/2023</u>	FEES PAID: <u>\$2500.00</u> <u>10-134220</u>

Project Name: NORTH RIDGE ADDITION

Project Physical Address (if applicable): EAST CORONA AVE

Project Description:

This project will include a paved road with a circle for turn around and six fourplex buildings. Lots 3, 4, 5, 6, 7 and 8 in Block 1 AND Lots 2 and 3 in Block 2 of NORTH RIDGE ADDITION TO THE TOWN OF WIGGINS, COLORADO.

Legal Description: *(Attach legal description if Metes & Bounds)*

Subdivision Name: *(If applicable)* North Ridge Addition

Filing No. _____ **Lot No.** --- **Block No.** 1&2 **Section** _____ **Township** _____ **Range** _____

PROPERTY OWNER <i>(Attach separate sheets if multiple)</i>	AUTHORIZED REPRESENTATIVE
Name/Company: <u>Harrison Homes</u>	Company/Firm: <u>Harrison Homes</u>
Contact Person: <u>Daniel Harrison</u>	Contact Person: <u>Tanya Johnson</u>
Address: <u>PO Box 971</u>	Address: <u>PO Box 971</u>
City/State/Zip: <u>80701</u>	City/State/Zip: <u>Fort Morgan, CO. 80701</u>
Phone: <u>9703805767</u>	Phone: <u>970-380-5767</u>
Email: <u>harrisondhomes@gmail.com</u>	Email: <u>harrisondhomes.tanya@gmail.com</u>
MINERAL RIGHTS OWNER <i>(Attach separate sheets if multiple)</i>	MINERAL LEASE OWNER <i>(Attach separate sheets if multiple)</i>
Name/Company: <u>Harrison Homes</u>	Name/Company: <u>NA</u>
Address: <u>PO Box 971</u>	Address: _____
City/State/Zip: <u>Fort Morgan, CO. 80701</u>	City/State/Zip: _____
LAND-USE & SUMMARY INFORMATION	
Present Zoning: <u>R2</u>	Gross Site Density (du/ac): _____
Proposed Zoning: <u>NA</u>	# Lots/Units Proposed: <u>24 Apartments</u>
Gross Acreage: _____	

SERVICE PROVIDERS	
Electric: REA	Gas: NA
Special District:	Fire District: Wiggins
Water: (If other than Town)	Sewer: (If other than Town)

DEVELOPMENT REVIEW FEES

ANNEXATION		VARIANCE		VACATION	
<input type="checkbox"/> Annexation	\$3,500.00	<input type="checkbox"/> Residential	\$250.00	<input type="checkbox"/> Vacation of	\$ 1,000.00
<input type="checkbox"/> Disconnection	\$500.00	<input type="checkbox"/> Commercial	\$350.00		

REZONING / SPECIAL REVIEW		SITE SPECIFIC (COMMERCIAL)	
<input type="checkbox"/> Rezoning	\$3,500.00	<input type="checkbox"/> Commercial Infill Final Dev Plan	\$3,500.00
<input type="checkbox"/> Special Use Review	\$250.00		
<input type="checkbox"/> Conditional Use Review	\$250.00		

BOUNDARY LINE / LOT MERGERS	
<input type="checkbox"/> Boundary Line Adj / Lot Merger	\$350.00

MINOR SUBDIVISION		MAJOR SUBDIVISION	
<input checked="" type="checkbox"/> Minor Subdivision	\$ 2,500.00	<input type="checkbox"/> Preliminary Development Plan	\$3,500.00
<input type="checkbox"/> Sketch Plan Review	\$ 1,000.00	<input type="checkbox"/> Final Development Plan (Res)	\$3,000.00
<input type="checkbox"/> Final Plat Review (Residential)	\$ 3,000.00	<input type="checkbox"/> Final Development Plan (Comm)	\$4,000.00
<input type="checkbox"/> Final Plat Review (Commercial)	\$ 4,000.00		

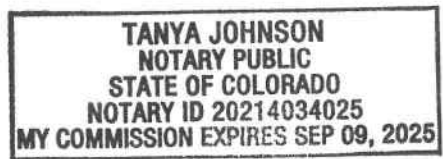
The undersigned is fully aware of the request/proposal being made and the actions being initiated on the referenced property. The undersigned understands that the application must be found to be complete by the Town of Wiggins before the request can officially be accepted and the development review process initiated. The undersigned is aware that the applicant is fully responsible for all reasonable costs associated with the review of the application/request being made to the Town of Wiggins. By this acknowledgement, the undersigned hereby certify that the above information is true and correct.

Property Owner Signature: Daniel Harrison Date: 05-22-2023
 Property Owner Signature: Caitlin Johnson Date: 05-22-2023

STATE OF COLORADO)
) ss.
 County of Morgan)
 The foregoing instrument was acknowledged before me this 22nd day of May, 2023,
 By Tanya Johnson

My commission expires: 09-09-2025

Witness my hand and official seal.



Tanya Johnson
 Notary Public



EQUITY TITLE OF COLORADO

520 Sherman Street
Fort Morgan, CO 80701
Phone: (970) 867-0515 • Fax: (970) 867-2246

Date: February 5, 2024

Our File Number: 00057196 SB

C-2 – Updated effective date

Re: Harrison Homes LLC / TBD

Property Address: Vacant Lots Wiggins, CO 80654

Escrow Officer: Title Only

Title Officer: Shelly Butt

(303) 563-4655

shellyb@equitycol.com

[Delivery List]

Seller:

Harrison Homes LLC
Email: harrisondhomes@gmail.com

SENT VIA EMAIL

Copy to:

Harrison Homes LLC
Attn: Tanya Johnson
Email: harrisondhomes.tanya@gmail.com

SENT VIA EMAIL

Buyer:

TBD



ALTA COMMITMENT FOR TITLE INSURANCE (07-01-2021)

ISSUED BY

Stewart Title Guaranty Company - II

NOTICE

IMPORTANT—READ CAREFULLY: THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

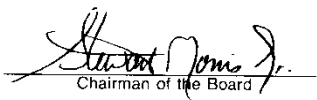
THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACTIONAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY’S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON.

COMMITMENT TO ISSUE POLICY

Subject to the Notice; Schedule B, Part I—Requirements; Schedule B, Part II—Exceptions; and the Commitment Conditions, Stewart Title Guaranty Company - II, a Texas (the “Company”), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Amount of Insurance and the name of the Proposed Insured.

If all of the Schedule B, Part I—Requirements have not been met within six months after the Commitment Date, this Commitment terminates and the Company’s liability and obligation end.


Chairman of the Board

STEWART TITLE
GUARANTY COMPANY




President



Authorized Signature

This page is only a part of a 2021 ALTA Commitment for Title Insurance. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; and Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

010-UN ALTA Commitment for Title Insurance Schedule A (07-01-2021)

Page 1

Copyright ©2021 American Land Title Association. All rights reserved. The use of this Form is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited. Reprinted under license from the American Land Title Association.



COMMITMENT CONDITIONS

1. DEFINITIONS
 - a. “Discriminatory Covenant”: Any covenant, condition, restriction, or limitation that is unenforceable under applicable law because it illegally discriminates against a class of individuals based on personal characteristics such as race, color, religion, sex, sexual orientation, gender identity, familial status, disability, national origin, or other legally protected class.
 - b. “Knowledge” or “Known”: Actual knowledge or actual notice, but not constructive notice imparted by the Public Records.
 - c. “Land”: The land described in Item 5 of Schedule A and improvements located on that land that by law constitute real property. The term “Land” does not include any property beyond that described in Schedule A, nor any right, title, interest, estate, or easement in any abutting street, road, avenue, alley, lane, right-of-way, body of water, or waterway, but does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
 - d. “Mortgage”: A mortgage, deed of trust, trust deed, security deed, or other real property security instrument, including one evidenced by electronic means authorized by law.
 - e. “Policy”: Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
 - f. “Proposed Amount of Insurance”: Each dollar amount specified in Schedule A as the Proposed Amount of Insurance of each Policy to be issued pursuant to this Commitment.
 - g. “Proposed Insured”: Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
 - h. “Public Records”: The recording or filing system established under state statutes in effect at the Commitment Date under which a document must be recorded or filed to impart constructive notice of matters relating to the Title to a purchaser for value without Knowledge. The term “Public Records” does not include any other recording or filing system, including any pertaining to environmental protection, planning, permitting, zoning, licensing, building, health, public safety, or national security matters.
 - i. “State”: The state or commonwealth of the United States within whose exterior boundaries the Land is located. The term “State” also includes the District of Columbia, the Commonwealth of Puerto Rico, the U.S. Virgin Islands, and Guam.
 - j. “Title”: The estate or interest in the Land identified in Item 3 of Schedule A.
2. If all of the Schedule B, Part I—Requirements have not been met within the time period specified in the Commitment to Issue Policy, this Commitment terminates and the Company’s liability and obligation end.
3. The Company’s liability and obligation is limited by and this Commitment is not valid without:
 - a. the Notice;
 - b. the Commitment to Issue Policy;
 - c. the Commitment Conditions;
 - d. Schedule A;
 - e. Schedule B, Part I—Requirements; and
 - f. Schedule B, Part II—Exceptions; and
 - g. a counter-signature by the Company or its issuing agent that may be in electronic form.

This page is only a part of a 2021 ALTA Commitment for Title Insurance. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; and Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

4. COMPANY'S RIGHT TO AMEND

The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company is not liable for any other amendment to this Commitment.

5. LIMITATIONS OF LIABILITY

- a. The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
 - i. comply with the Schedule B, Part I—Requirements;
 - ii. eliminate, with the Company's written consent, any Schedule B, Part II—Exceptions; or
 - iii. acquire the Title or create the Mortgage covered by this Commitment.
- b. The Company is not liable under Commitment Condition 5.a. if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- c. The Company is only liable under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
- d. The Company's liability does not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Condition 5.a. or the Proposed Amount of Insurance.
- e. The Company is not liable for the content of the Transaction Identification Data, if any.
- f. The Company is not obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I—Requirements have been met to the satisfaction of the Company.
- g. The Company's liability is further limited by the terms and provisions of the Policy to be issued to the Proposed Insured.

6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT; CHOICE OF LAW AND CHOICE OF FORUM

- a. Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- b. Any claim must be based in contract and is restricted to the terms and provisions of this Commitment.
- c. This Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
- d. The deletion or modification of any Schedule B, Part II—Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- e. Any amendment or endorsement to this Commitment must be in writing and authenticated by a person authorized by the Company.
- f. When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.

7. IF THIS COMMITMENT IS ISSUED BY AN ISSUING AGENT

The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for the purpose of providing closing or settlement services.

This page is only a part of a 2021 ALTA Commitment for Title Insurance. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; and Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.



8. PROFORMA POLICY

The Company may provide, at the request of a Proposed Insured, a proforma policy illustrating the coverage that the Company may provide. A proforma policy neither reflects the status of Title at the time that the proforma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

9. CLAIMS PROCEDURES

This Commitment incorporates by reference all Conditions for making a claim in the Policy to be issued to the Proposed Insured. This Commitment Condition does not modify the limitations of liability in Commitment Conditions 5 and 6.

10. CLASS ACTION

ALL CLAIMS AND DISPUTES ARISING OUT OF OR RELATING TO THIS COMMITMENT, INCLUDING ANY SERVICE OR OTHER MATTER IN CONNECTION WITH ISSUING THIS COMMITMENT, ANY BREACH OF A COMMITMENT PROVISION, OR ANY OTHER CLAIM OR DISPUTE ARISING OUT OF OR RELATING TO THE TRANSACTION GIVING RISE TO THIS COMMITMENT, MUST BE BROUGHT IN AN INDIVIDUAL CAPACITY. NO PARTY MAY SERVE AS PLAINTIFF, CLASS MEMBER, OR PARTICIPANT IN ANY CLASS OR REPRESENTATIVE PROCEEDING. ANY POLICY ISSUED PURSUANT TO THIS COMMITMENT WILL CONTAIN A CLASS ACTION CONDITION.

11. ARBITRATION

The Policy contains an arbitration clause. All arbitrable matters when the Proposed Amount of Insurance is \$2,000,000 or less may be arbitrated at the election of either the Company or the Proposed Insured as the exclusive remedy of the parties. A Proposed Insured may review a copy of the arbitration rules at <http://www.alta.org/arbitration>.

STEWART TITLE GUARANTY COMPANY - II

All notices required to be given the Company and any statement in writing required to be furnished the Company shall be addressed to it at: Stewart Title Guaranty Company - II, P.O. Box 2029, Houston, Texas 77252-2029.

This page is only a part of a 2021 ALTA Commitment for Title Insurance. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; and Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

010-UN ALTA Commitment for Title Insurance Schedule A (07-01-2021)

Page 4

Copyright ©2021 American Land Title Association. All rights reserved. The use of this Form is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited. Reprinted under license from the American Land Title Association.

AMERICAN
LAND TITLE
ASSOCIATION



000016

Transaction Identification Data, for which the Company assumes no liability as set forth in Commitment Condition 5.e.:

Issuing Agent: Equity Title Associates II, LLC
Issuing Office: 520 Sherman Street, , Fort Morgan, CO 80701
ALTA® Universal ID: None
Loan ID Number:
Issuing Office File Number: 00057196-003-TO3-SB
Property Address: Vacant Lots, Wiggins, CO 80654

SCHEDULE A

AMERICAN LAND TITLE ASSOCIATION COMMITMENT

1. Effective Date: **January 29, 2024**
2. Policy to be issued:
 - (a) **None**

Proposed Insured:	[TBD]
Proposed Amount of Insurance:	\$0.00
The estate or interest to be insured:	[FEE SIMPLE]
 - (b) **None**

Proposed Insured:	, its successors and/or assigns, as their interests may appear
Proposed Amount of Insurance:	\$0.00
The estate or interest to be insured:	[FEE SIMPLE]
 - (c) **None**

Proposed Insured:	[]
Proposed Amount of Insurance:	
The estate or interest to be insured:	[]
3. The estate or interest in the Land at the Commitment Date is:
[FEE SIMPLE]
4. The Title is, at the Commitment Date, vested in:
[\[Harrison Homes LLC\]](#)
5. The Land is described as follows:
See Exhibit A attached hereto and made a part hereof.

This page is only a part of a 2021 ALTA Commitment for Title Insurance. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; and Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

TITLE PREMIUMS

TBD Commitment Fee	\$	[300.00]
TOTAL	\$	\$ 300.00

This page is only a part of a 2021 ALTA Commitment for Title Insurance. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; and Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

010-UN ALTA Commitment for Title Insurance Schedule A (07-01-2021)

Page 1

Copyright ©2021 American Land Title Association. All rights reserved. The use of this Form is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited. Reprinted under license from the American Land Title Association.

AMERICAN
LAND TITLE
ASSOCIATION



**EXHIBIT A
LEGAL DESCRIPTION**

Lots 3, 4, 5, 6, 7 and 8 in Block 1 **AND** Lots 2 and 3 in Block 2 of NORTH RIDGE ADDITION TO THE TOWN OF WIGGINS, COLORADO, according to the recorded plat thereof;
County of Morgan, State of Colorado.

This page is only a part of a 2021 ALTA Commitment for Title Insurance. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; and Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

010-UN ALTA Commitment for Title Insurance Exhibit A (07-01-2021)

Page 2

Copyright ©2021 American Land Title Association. All rights reserved. The use of this Form is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited. Reprinted under license from the American Land Title Association.

AMERICAN
LAND TITLE
ASSOCIATION



000019

SCHEDULE B – PART I REQUIREMENTS

All of the following Requirements must be met:

- A. ~~The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.~~
- B. ~~Pay the agreed amount for the estate or interest to be insured.~~
- C. ~~Pay the premiums, fees, and charges for the Policy to the Company.~~
- D. ~~Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.~~
 - i. ~~[]~~
 - ii. ~~[]~~
- ~~[=clause=]~~
- E. ~~Receipt by the Company of a satisfactory Final Affidavit, executed by Harrison Homes LLC.~~
- F. ~~Receipt by the Company of a satisfactory Final Affidavit, executed by TBD.~~
- G. ~~Payment of all taxes and assessments now due and payable.~~

END OF SCHEDULE B – Part I

This page is only a part of a 2021 ALTA Commitment for Title Insurance. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; and Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

010-UN ALTA Commitment for Title Insurance Schedule BI (07-01-2021)

Page 3

Copyright ©2021 American Land Title Association. All rights reserved. The use of this Form is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited. Reprinted under license from the American Land Title Association.

AMERICAN
LAND TITLE
ASSOCIATION



000020

SCHEDULE B – PART II EXCEPTIONS

Some historical land records contain Discriminatory Covenants that are illegal and unenforceable by law. This Commitment and the Policy treat any Discriminatory Covenant in a document referenced in Schedule B as if each Discriminatory Covenant is redacted, repudiated, removed, and not republished or recirculated. Only the remaining provisions of the document will be excepted from coverage.

The Policy will not insure against loss or damage resulting from the terms and conditions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

1. Rights or claims of parties in possession not shown by the public records.
2. Easements or claims of easements, not shown by the public records.
3. Discrepancies, conflicts in boundary lines, shortages in area, encroachments, and any facts which a correct survey and inspection of the premises would disclose and which are not shown by the public records.
4. Any lien, or right to a lien for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the public records.

NOTE: Upon receipt of [a satisfactory survey and] [final affidavits], as shown in Schedule B - Section 1, Exceptions 1 through 4 will not appear on the Lender's Policy (if any) to be issued hereunder.

5. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date of which all of the Schedule B, Part I - Requirements are met.

NOTE: Provided Equity Title Associates II, LLC conducts the closing of this transaction, Exception 5 will be deleted.

6. Taxes and assessments which are a lien or are now due and payable; any tax, special assessment, charge or lien imposed for or by any special taxing district or for water or sewer service; any unredeemed tax sales.

NOTE: Upon payment of all taxes and assessments now due and payable, as shown in Schedule B - Section 2, Exception 6 will be amended to read as follows: "Taxes and assessments for the year 2022 and subsequent years, a lien, not yet due or payable."

7. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water; (d) Minerals of whatsoever kind, subsurface and surface substances, in, on, under and that may be produced from the Land, together with all rights, privileges, and immunities relating thereto, whether or not the matters excepted under (a), (b), (c) or (d) are shown by the Public Records or listed in Schedule B.
8. Right of way for ditches and canals constructed by the authority of the United States, as reserved in United States Patent dated December 11, 1913, as Patent No. [370836](#).
9. Terms and conditions as set forth in the Order, recorded May 6, 1907, as Reception No. [25157](#).
10. Terms and conditions as set forth in the Instrument, recorded March 28, 1978, as Reception No. [620748](#).
11. Terms and conditions as set forth in the Ordinance, recorded July 10, 2006, as Reception No. [836482](#).

This page is only a part of a 2021 ALTA Commitment for Title Insurance. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; and Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

SCHEDULE B
PART II – EXCEPTIONS
(Continued)

12. Easements, notes, covenants, restrictions and rights-of-way as shown on the plat of North Ridge Addition, recorded May 4, 1979, in Book 5 at Page 63, as Reception No. [1400252](#).
13. The following notices pursuant to CRS 9-1.5-103 concerning underground facilities have been filed with the Clerk and Recorder. These statements are general and do not necessarily give notice of underground facilities within the subject property:
- a.) Mountain Bell Telephone Company recorded October 2, 1981, in [Book 821 at Page 502](#).
 - b.) Public Service Company of Colorado recorded October 2, 1981, in [Book 821 at Page 514](#).
 - Amendment recorded March 23, 1983, in [Book 840 at Page 431](#).
 - c.) Morgan County REA, recorded January 22, 1982, in [Book 825 at Page 656](#).
 - d.) Wiggins Telephone Association, recorded October 9, 1992, in [Book 947 at Page 824](#).

END OF SCHEDULE B – PART II

This page is only a part of a 2021 ALTA Commitment for Title Insurance. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; and Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

010-UN ALTA Commitment for Title Insurance Schedule BI (07-01-2021)

Page 5

Copyright ©2021 American Land Title Association. All rights reserved. The use of this Form is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited. Reprinted under license from the American Land Title Association.

AMERICAN
LAND TITLE
ASSOCIATION



000022

DISCLOSURES

Pursuant to C.R.S. 10-11-122, notice is hereby given that:

- A. THE SUBJECT REAL PROPERTY MAY BE LOCATED IN A SPECIAL TAXING DISTRICT;
- B. A CERTIFICATE OF TAXES DUE LISTING EACH TAXING JURISDICTION SHALL BE OBTAINED FROM THE COUNTY TREASURER OR THE COUNTY TREASURER'S AUTHORIZED AGENT;
- C. INFORMATION REGARDING SPECIAL DISTRICTS AND THE BOUNDARIES OF SUCH DISTRICTS MAY BE OBTAINED FROM THE BOARD OF COUNTY COMMISSIONERS, THE COUNTY CLERK AND RECORDER, OR THE COUNTY ASSESSOR

Note: Colorado Division of Insurance Regulations 8-1-2, Section 5, Paragraph G requires that "Every title entity shall be responsible for all matters which appear of record prior to the time of recording whenever the title entity conducts the closing and is responsible for recording or filing of legal documents resulting from the transaction which was closed." Provided that Equity Title Associates II, LLC conducts the closing of the insured transaction and is responsible for recording the legal documents from the transaction, exception number 1 will not appear on the Owner's Title Policy and the Lender's Title Policy when issued.

Note: Affirmative Mechanic's Lien Protection for the Owner may be available (typically by deletion of Exception No. 4 of Schedule B, Section 2 of the Commitment from the Owner's Policy to be issued) upon compliance with the following conditions:

- A. The land described in Schedule A of this commitment must be a single-family residence, which includes a condominium or townhouse unit.
- B. No labor or materials have been furnished by mechanics or materialmen for purposes of construction on the land described in Schedule A of this Commitment within the past 6 months.
- C. The Company must receive an appropriate affidavit indemnifying the Company against unfiled Mechanic's and Materialmen's Liens.
- D. The Company must receive payment of the appropriate premium.
- E. If there has been construction, improvements or major repairs undertaken on the property to be purchased, within six months prior to the Date of the Commitment, the requirements to obtain coverage for unrecorded liens will include: disclosure of certain construction information; financial information as to the seller, the builder and/or the contractor; payment of the appropriate premium; fully executed Indemnity agreements satisfactory to the company; and, any additional requirements as may be necessary after an examination of the aforesaid information by the Company.

No coverage will be given under any circumstances for labor or material for which the insured has contracted for or agreed to pay.

To comply with the provisions of C.R.S. 10-11-123, the Company makes the following disclosure:

- a. That there is recorded evidence that a mineral estate has been severed, leased or otherwise conveyed from the surface estate and that there is a substantial likelihood that a third party holds some or all interest in oil, gas, other minerals, or geothermal energy in the property; and
- b. That such mineral estate may include the right to enter and use the property without the surface owner's permission.

NOTE: THIS DISCLOSURE APPLIES ONLY IF SCHEDULE B, SECTION 2 OF THE TITLE COMMITMENT HEREIN INCLUDES AN EXCEPTION FOR SEVERED MINERALS.

Notice of Availability of a Closing Protection Letter: Pursuant to Colorado Division of Insurance Regulation 8-1-3, Section 5, Paragraph C (11)(f), a closing protection letter is available to the consumer.

NOTHING HEREIN CONTAINED WILL BE DEEMED TO OBLIGATE THE COMPANY TO PROVIDE ANY OF THE COVERAGES REFERRED TO HEREIN, UNLESS THE ABOVE CONDITIONS ARE FULLY SATISFIED.

**Orange Coast Title Family of Companies
PRIVACY POLICY**

We are committed to Safeguarding Customer Information

In order to better serve your needs now and in the future, we may ask you to provide us with certain information. We understand that you may be concerned about what we will do with such information – particularly any personal or financial information. We agree that you have a right to know how we will utilize the personal information that you provide to us. Therefore, we have adopted this Privacy Policy to govern the use and handling of your personal information.

Applicability

This Privacy Policy governs our use of the information that you provide to us. It does not govern the manner in which we may use information we have obtained from any other source, such as information obtained from a public record or from another person or entity.

Types of Information

Depending upon which of our services you are utilizing, the types of nonpublic personal information that we may collect include:

- Information we receive from you on applications, forms and in other communications to us, whether in writing, in person, by telephone or any other means;
- Information we receive from providers of services to us, such as appraisers, appraisal management companies, real estate agents and brokers and insurance agencies (this may include the appraised value, purchase price and other details about the property that is the subject of your transaction with us).
- Information about your transactions with us, our Affiliated Companies, or others; and
- Information we receive from a consumer reporting agency.

Your California Rights (see attachments) or you may visit our website at <https://www.titleadvantage.com/privacypolicy.htm> or call toll-free at (866) 241-7373. *Only applies to CA residents*

Use of Information

We request information from you for our own legitimate business purposes and not for the benefit of any nonaffiliated party. Therefore, we will not release your information to nonaffiliated parties except: (1) as necessary for us to provide the product or service you have requested of us; or (2) as permitted by law. We may, however, store such information indefinitely, including the period after which any customer relationship has ceased. Such information may be used for any internal purpose, such as quality control efforts or customer analysis.

Former Customers

Even if you are no longer our customer, our Privacy Policy will continue to apply to you.

Confidentiality and Security

We will use our best efforts to ensure that no unauthorized parties have access to any of your information. We restrict access to nonpublic personal information about you to those individuals and entities who need to know that information to provide products or services to you. We will use our best efforts to train and oversee our employees and agents to ensure that your information will be handled responsibly and in accordance with this Privacy Policy. We currently maintain physical, electronic, and procedural safeguards that comply with federal regulations to guard your nonpublic personal information.

Other Important Information

We reserve the right to modify or supplement this Privacy Policy at any time. If our Privacy Policy changes, we will post the updated Privacy Policy on our website and provide the ability to opt out (as required by law) before the new policy becomes effective.

If you have any questions or comments regarding our Privacy Policy you may contact us at our toll free number (866) 241-7373 or email us at dataprivacy@octitle.com.

Privacy Policy Last Revision 12/26/2019
Effective on 1/1/2020

Your California Rights

If you are a California resident, you may have certain rights under California law, including but not limited to the California Consumer Privacy Act ("CCPA"). All phrases used herein shall have the same meaning as those phrases used under relevant California law, including but not limited to the CCPA.

Right to Know

You have the right to know:

- The categories of personal information we have collected about or from you;
- The categories of sources from which we collected your personal information;
- The business or commercial purpose for collecting or sharing your personal information;
- The categories of third parties with whom we have shared your personal information; and
- The specific pieces of your personal information we have collected.

Process to Submit a Request. To submit a verified request for this information you may visit our website at <https://www.titleadvantage.com/privacypolicy.htm> or call toll-free at (866) 241-7373. You may also designate an authorized agent to submit a request on your behalf by visiting our website <https://www.titleadvantage.com/privacypolicy.htm> or calling toll-free at (866) 241-7373 and then also submitting written proof of such authorization via e-mail to dataprivacy@octitle.com.

Verification Method. In order to ensure your personal information is not disclosed to unauthorized parties, and to protect against fraud, we will verify your identity before responding to your request. To verify your identity, we will generally match the identifying information provided in your request with the information we have on file about you. Depending on the sensitivity of the personal information requested, we may also utilize more stringent verification methods to verify your identity, including but not limited to requesting additional information from you and/or requiring you to sign a declaration under penalty of perjury.

Right of Deletion

You have a right to request that we delete the personal information we have collected from or about you.

Process to Submit a Request. To submit a verified request to delete your information you may visit our website at <https://www.titleadvantage.com/privacypolicy.htm> or call toll-free at (866) 241-7373. You may also designate an authorized agent to submit a request on your behalf by clicking here or calling toll-free at (866) 241-7373 and then also submitting written proof of such authorization via e-mail to dataprivacy@octitle.com.

Verification Method. In order to ensure we do not inadvertently delete your personal information based on a fraudulent request, we will verify your identity before we respond to your request. To verify your identity, we will generally match the identifying information provided in your request with the information we have on file about you. Depending on the sensitivity of the personal information requested to be deleted, we may also utilize more stringent verification methods to verify your identity, including but not limited to requesting additional information from you and/or requiring you to sign a declaration under penalty of perjury.

Right to Opt-Out

We do not sell your personal information to third parties, and do not plan to do so in the future.

Right of Non-Discrimination

You have a right to exercise your rights under the CCPA without suffering discrimination. Accordingly, OC Title & family of Companies will not discriminate against you in any way if you choose to exercise your rights under the CCPA.

California Minors

If you are a California resident under the age of 18, California Business and Professions Code § 22581 permits you to request and obtain removal of content or information you have publicly posted on any of our Applications or Websites. To make such a request, please send an email with a detailed description of the specific content or information to dataprivacy@octitle.com. Please be aware that such a request does not ensure complete or comprehensive removal of the content or information you have posted and there may be circumstances in which the law does not require or allow removal even if requested.

Collection Notice

The following is a list of the categories of personal information we may have collected about California residents in the twelve months preceding the date this Privacy Notice was last updated, including the business or commercial purpose for said collection, the categories of sources from which we may have collected the personal information, and the categories of third parties with whom we may have shared the personal information:

Categories of Personal Information Collected

The categories of personal information we have collected include, but may not be limited to:

- real name
- signature
- alias
- SSN
- physical characteristics or description, including
- protected characteristics under federal or state law
- address
- telephone number
- passport number
- driver's license number
- state identification card number
- IP address
- policy number
- file number
- employment history
- bank account number

- credit card number
- debit card number
- financial account numbers
- commercial information
- professional or employment information

Categories of Sources

Categories of sources from which we've collected personal information include, but may not be limited to:

- the consumer directly
- public records
- governmental entities
- non-affiliated third parties
- affiliated third parties

Business Purpose for Collection

The business purposes for which we've collected personal information include, but may not be limited to:

- completing a transaction for our Products
- verifying eligibility for employment
- facilitating employment
- performing services on behalf of affiliated and non-affiliated third parties
- protecting against malicious, deceptive, fraudulent, or illegal activity

Categories of Third Parties Shared

The categories of third parties with whom we've shared personal information include, but may not be limited to:

- service providers
- government entities
- operating systems and platforms
- non-affiliated third parties
- affiliated third parties

Sale Notice

We have not sold the personal information of California residents to any third party in the twelve months preceding the date this Privacy Notice was last updated, and we have no plans to sell such information in the future. We also do not, and will not sell the personal information of minors under sixteen years of age without affirmative authorization.

Disclosure Notice

The following is a list of the categories of personal information of California residents we may have disclosed for a business purpose in the twelve months preceding the date this Privacy Notice was last updated.

- | | | |
|---|------------------------------------|--|
| • real name | • address | • credit card number |
| • Signature | • telephone number | • debit card number |
| • Alias | • passport number | • financial account numbers |
| • SSN | • driver's license number | • commercial information |
| • physical characteristics or description, including protected characteristics under federal or state law | • state identification card number | • professional or employment information |
| | • IP address | |
| | • policy number | |
| | • file number | |
| | • employment history | |
| | • bank account number | |

If you have any questions and/or comments you may contact us:

Call Us at our toll free number (866) 241-7373
Email Us at dataprivacy@octitle.com

Revised on 1/24/2020 / Effective on 1/1/2020

STG Privacy Notice 1 (Rev 01/26/09) Stewart Title Companies

WHAT DO THE STEWART TITLE COMPANIES DO WITH YOUR PERSONAL INFORMATION?

Federal and applicable state law and regulations give consumers the right to limit some but not all sharing. Federal and applicable state law regulations also require us to tell you how we collect, share, and protect your personal information. Please read this notice carefully to understand how we use your personal information. This privacy notice is distributed on behalf of the Stewart Title Guaranty Company - II and its affiliates (the Stewart Title Companies), pursuant to Title V of the Gramm-Leach-Bliley Act (GLBA).

The types of personal information we collect and share depend on the product or service that you have sought through us. This information can include social security numbers and driver's license number.

All financial companies, such as the Stewart Title Companies, need to share customers' personal information to run their everyday business—to process transactions and maintain customer accounts. In the section below, we list the reasons that we can share customers' personal information; the reasons that we choose to share; and whether you can limit this sharing.

Reasons we can share your personal information	Do we share?	Can you limit this sharing?
For our everyday business purposes — to process your transactions and maintain your account. This may include running the business and managing customer accounts, such as processing transactions, mailing, and auditing services, and responding to court orders and legal investigations.	Yes	No
For our marketing purposes — to offer our products and services to you.	Yes	No
For joint marketing with other financial companies	No	We don't share
For our affiliates' everyday business purposes — information about your transactions and experiences. Affiliates are companies related by common ownership or control. They can be financial and nonfinancial companies. <i>Our affiliates may include companies with a Stewart name; financial companies, such as Stewart Title Company</i>	Yes	No
For our affiliates' everyday business purposes — information about your creditworthiness.	No	We don't share
For our affiliates to market to you	Yes	No
For nonaffiliates to market to you. Nonaffiliates are companies not related by common ownership or control. They can be financial and nonfinancial companies.	No	We don't share

We may disclose your personal information to our affiliates or to nonaffiliates as permitted by law. If you request a transaction with a nonaffiliate, such as a third party insurance company, we will disclose your personal information to that nonaffiliate. We do not control their subsequent use of information, and suggest you refer to their privacy notices.

Sharing practices

How often do the Stewart Title Companies notify me about their practices?	We must notify you about our sharing practices when you request a transaction.
How do the Stewart Title Companies protect my personal information?	To protect your personal information from unauthorized access and use, we use security measures that comply with federal and state law. These measures include computer, file, and building safeguards.
How do the Stewart Title Companies collect my personal information?	<p>We collect your personal information, for example, when you</p> <ul style="list-style-type: none"> • request insurance-related services • provide such information to us <p>We also collect your personal information from others, such as the real estate agent or lender involved in your transaction, credit reporting agencies, affiliates or other companies.</p>
What sharing can I limit?	Although federal and state law give you the right to limit sharing (e.g., opt out) in certain instances, we do not share your personal information in those instances.

Contact Us

If you have any questions about this privacy notice, please contact us at: Stewart Title Guaranty Company - II, 1980 Post Oak Blvd., Privacy Officer, Houston, Texas 77056

**THIS ADDENDUM IS MADE PART OF THE POLICY AND IS PERMANENTLY AFFIXED
HERETO
COLORADO ANTI-FRAUD DISCLOSURE
PURSUANT TO C.R.S. 10-1-128 (6)**

"It is unlawful to knowingly provide false, incomplete, or misleading facts or information to an insurance company for the purpose of defrauding or attempting to defraud the company. Penalties may include imprisonment, fines, denial of insurance and civil damages. Any insurance company or agent of an insurance company who knowingly provides false, incomplete or misleading facts or information to a policyholder or claimant for the purpose of defrauding or attempting to defraud the policyholder or claimant with regard to a settlement or award payable from insurance proceeds shall be reported to the Colorado Division of Insurance within the Department of Regulatory Agencies."

Exhibit C

Final Plat of NORTH RIDGE MINOR SUBDIVISION

A Replat of Lots 3-8, Block 1, Lots 2-3, Block 2 and a portion of North Ridge Drive of North Ridge Addition to Town of Wiggins, Situate in the Southwest Quarter of Section 11, Township 3 North, Range 60 West of the 6th P.M., Town of Wiggins, County of Morgan, State of Colorado

OWNERSHIP AND DEDICATION

Known by all men by these presents, that the undersigned Harrison Homes LLC, being the owners of the land shown in this Final Plat and described as follows:

Lots 3-8 Block 1, Lots 2-3 Block 2 and portion of the North Ridge Drive Right of way, excepting therefrom that portion of Right of Way Vacated in Reception No. 836482, of The North Ridge Addition to the Town of Wiggins, Colorado as recorded May 4, 1979 in Book 5, Page 63 of the Records of Morgan County, located in the Southwest Quarter (SW1/4) of Section Eleven (11), Township Three North (T.3N.), Range Sixty West (R.60W.) of the Sixth Principal Meridian (6th P.M.), Town of Wiggins, County of Morgan, State of Colorado.

Said described parcel of land contains 2.127 Acres, more or less.

Have laid out, subdivided and platted said land as per drawing hereon contained under the name and style of Final Plat of North Ridge Minor Subdivision, a subdivision of a part of the Town of Wiggins, County of Morgan, State of Colorado, and by these presents does hereby dedicate to the Town of Wiggins the streets and avenues as shown on the accompanying plat for the public use thereof forever and does further dedicate to the use of the Town of Wiggins and all serving public utilities (and other appropriate entities) those portions of said real property which are so designated as easements as shown.

It is expressly understood and agreed by the undersigned that all expenses and costs involved in constructing and installing sanitary sewer system works and lines, storm drainage works and lines, water system works and lines, gas service lines, electrical service works and lines, landscaping, curbs, gutters, street pavement, sidewalks, and other utilities and services shall be guaranteed and paid for by the Subdivider or arrangements made by the Subdivider there of which are approved by the Town of Wiggins, Colorado, and such sums shall not be paid by the Town of Wiggins, and that any item so constructed or installed when accepted by the Town of Wiggins shall become the sole property of said Town of Wiggins, Colorado, except private roadway, curbs, gutter and pavement and items owned by municipality franchised utilities, other serving public entities, which when constructed or installed shall remain and/or become the property of such municipality franchised utilities, other serving public entities and shall not become the property of the Town of Wiggins, Colorado.

The portion of land identified as North Ridge Drive/Outlot 3 will be owned and maintained by the Homeowner Association.

OWNER: Harrison Homes LLC

By: _____ As: _____

NOTARIAL CERTIFICATE

STATE OF _____) COUNTY OF _____ ss

The foregoing instrument was acknowledged before me this _____ day of _____, 20____,

by _____ as _____

Witness my hand and official seal. (SEAL)

My commission expires _____

Notary Public

TOWN APPROVAL BLOCK

This is to certify that the Final Plat of North Ridge Minor Subdivision was approved on this day of _____, 2024 by Resolution No. _____ and that the Mayor of the Town of Wiggins on behalf of the Town of Wiggins, hereby acknowledges said Plat upon which this certificate is endorsed for all purposes indicated thereon.

Mayor _____ ATTEST: _____ Town Clerk

CLERK AND RECORDER'S CERTIFICATE

STATE OF COLORADO) COUNTY OF MORGAN) ss

I hereby certify that this instrument was filed in my office at _____ o'clock _____M., this _____ day of _____, 20____, and is duly recorded in Plat File _____.

Recorder _____ Deputy _____

SURVEYOR'S CERTIFICATE

I, Paul B. Groves, a Licensed Professional Land Survey in the State of Colorado, do hereby state that I prepared this plat from an actual and accurate survey of this land, including all existing right-of-way easements, and that the corner monuments shown thereon were properly placed under my supervision, in accordance with the regulations of the State of Colorado.

PRELIMINARY

Paul B. Groves - On Behalf Of King Surveyors Colorado Licensed Professional Land Surveyor #38209

LAND USE TABLE

Table with 3 columns: Category, Acres, Percentage. Rows: LOTS (6) 1.261 ACRES 58%, OUTLOTS (2) 0.353 ACRES 17%, TRACT 1 0.513 ACRES 25%, TOTAL 2.127 ACRES 100.0%

Table with 3 columns: PARCEL, DESCRIPTION, OWNED & MAINTAINED BY. Rows: OUTLOT 1 DRAINAGE & UTILITY EASEMENT HOMEOWNERS ASSOCIATION, OUTLOT 2 ACCESS & UTILITY EASEMENT HOMEOWNERS ASSOCIATION, OUTLOT 3 "NORTH RIDGE DRIVE" ACCESS, DRAINAGE & UTILITY EASEMENT HOMEOWNERS ASSOCIATION, LOTS 1-6 FUTURE DEVELOPMENT HARRISON HOMES LLC

OWNER

Harrison Homes LLC PO Box 971 Fort Morgan, CO. 80701

DEVELOPER

Harrison Homes LLC PO Box 971 Fort Morgan, CO. 80701

SURVEYOR

KING SURVEYORS 650 E GARDEN DRIVE WINDSOR, CO 80550 PHONE: (970) 686-5011

BASIS OF BEARINGS AND LINEAL UNIT DEFINITION

Assuming the South line of the Southwest Quarter of Section 11, T.3N., R.60W., as bearing South 88°42'46" East, being a Grid Bearing of the Colorado State Plane Coordinate System, North Zone, North American Datum 1983/2011, a distance of 2613.57 feet with all other bearings contained herein relative thereto.

The lineal dimensions as contained herein are based upon the "U.S. Survey Foot."

NOTICE

According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon. (13-80-105 C.R.S. 2012)

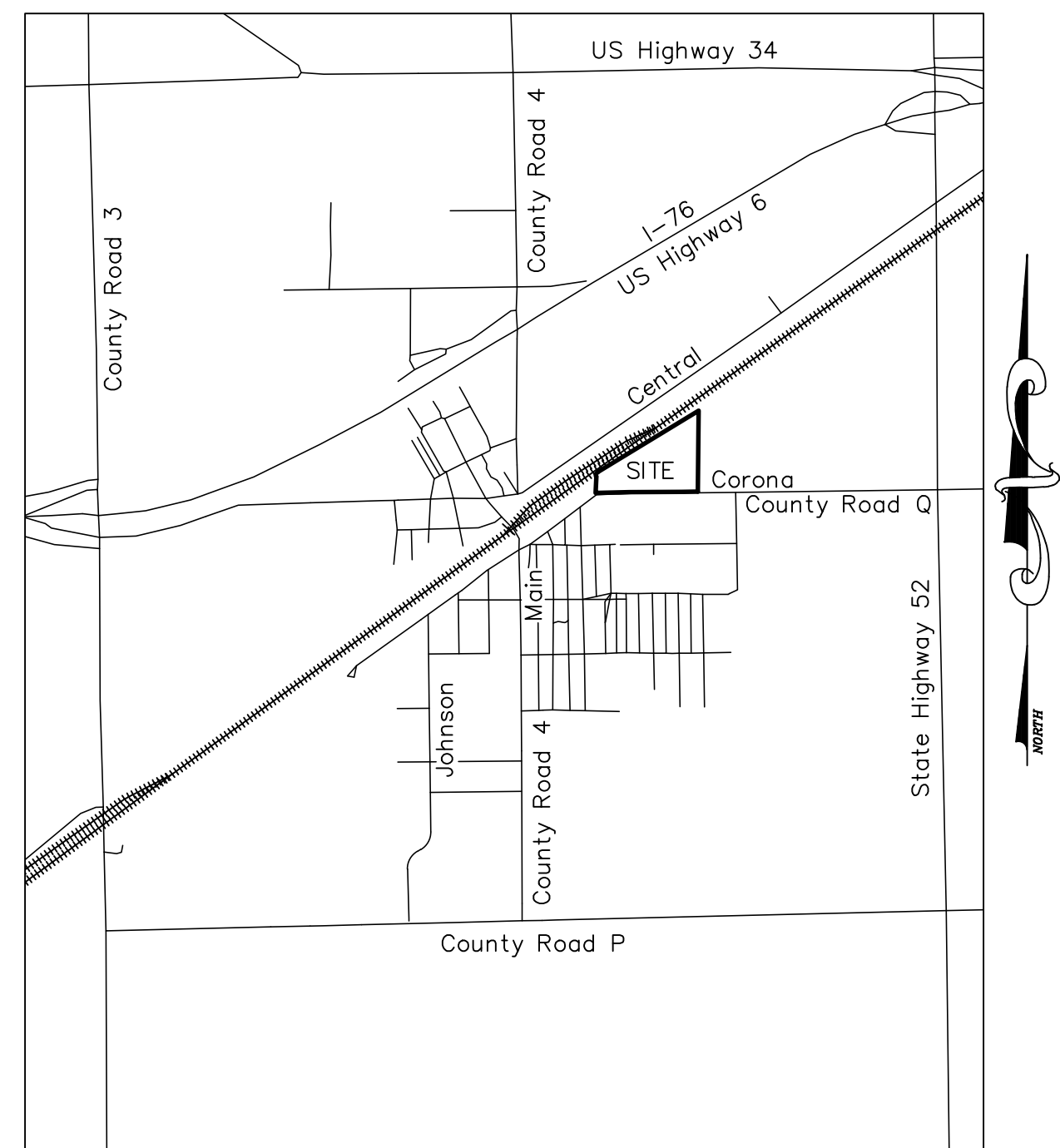
TITLE COMMITMENT NOTE

This survey does not constitute a title search by King Surveyors to determine ownership or easements of record. For all information regarding easements, rights-of-way and title of records, King Surveyors relied upon Title Commitment Number 00057196-003-103-58, dated January 29, 2024 as prepared by Equity Title of Colorado to delineate the aforesaid information.

FLOOD PLAIN NOTE

The subject property is in flood zone "X", "areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood" per FEMA flood map number 08087C0552D effective date April 4, 2018.

The subject property area is protected from the one percent annual chance (100-year) flood by levees, dike, other structure subject to possible failure or overtopping during larger floods.



VICINITY MAP SCALE: 1"=2000'

Table with 2 columns: Field Name, Value. Rows: DATE: 12/21/2023, FILE NAME: 20230604SUB, SCALE: 1"=80', DRAWN BY: CSK, CHECKED BY: PG

KING SURVEYORS 650 E. Garden Drive | Windsor, Colorado 80550 phone: (970) 686-5011 | email: contact@KingSurveyors.com



Table with 2 columns: Field Name, Value. Rows: REVISIONS: DATE: 01/22/24, CITY COMMENTS: CSK, REVISED PER COMMENTS: CSK 2/7/24

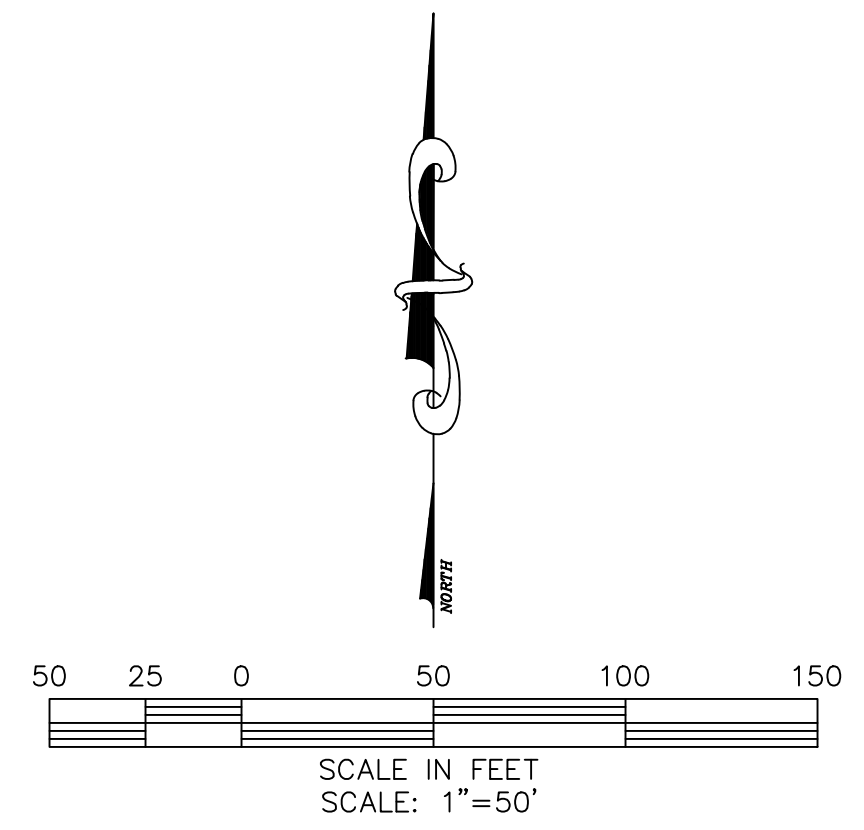
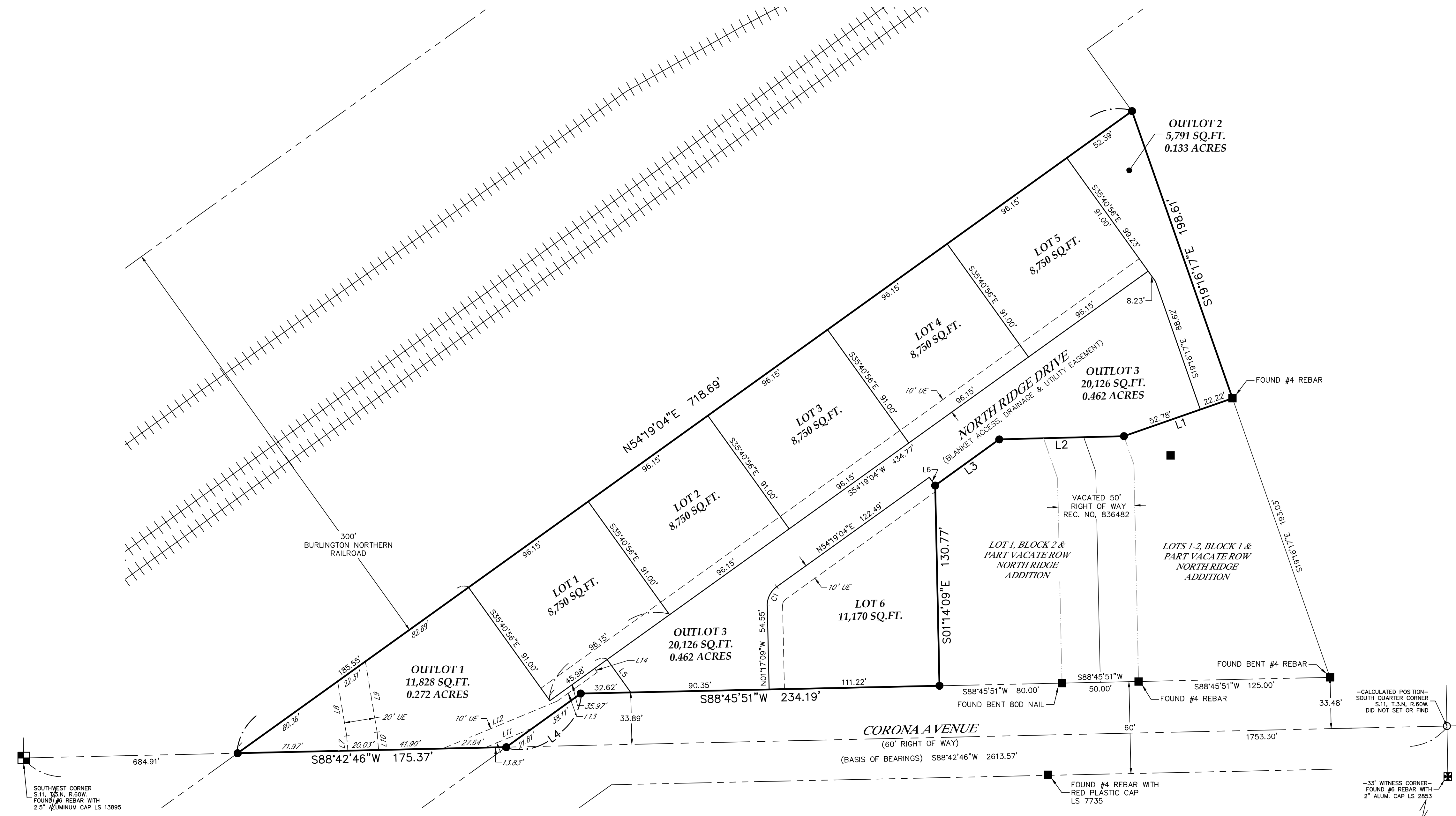
NORTH RIDGE MINOR SUBDIVISION FOR HARRISON HOMES LLC 33 STAGECOACH LANE FORT MORGAN, CO 80701

PROJECT #: 20230604

1 SHEET 1 OF 2

Final Plat of NORTH RIDGE MINOR SUBDIVISION

A Replat of Lots 3-8, Block 1, Lots 2-3, Block 2 and a portion of North Ridge Drive of North Ridge Addition to Town of Wiggins,
Situate in the Southwest Quarter of Section 11, Township 3 North, Range 60 West of the 6th P.M.,
Town of Wiggins, County of Morgan, State of Colorado



LEGEND

---	EASEMENT LINE
---	CENTERLINE
---	SECTION LINE
---	RIGHT OF WAY LINE
---	BOUNDARY LINE
■	FOUND ALIQUOT CORNER AS DESCRIBED
●	SET ALIQUOT CORNER AS DESCRIBED
■	FOUND MONUMENT AS DESCRIBED
●	SET 24" OF #4 REBAR WITH A BLUE PLASTIC CAP STAMPED KS, LS 38209
○	CALCULATED POSITION

LINE TABLE

LINE	BEARING	LENGTH
L1	S70°43'43"W	75.00'
L2	S88°31'36"W	81.45'
L3	S54°14'16"W	51.55'
L4	S54°14'16"W	59.93'
L5	S35°40'56"E	26.43'
L6	S35°40'56"E	6.61'
L7	N04°40'08"W	9.72'
L8	N09°23'42"W	36.05'
L9	S09°23'42"E	46.75'
L10	S04°40'08"E	11.73'
L11	N67°30'00"E	34.12'
L12	N67°30'00"E	80.80'
L13	N54°11'31"E	32.36'
L14	N35°40'56"W	3.00'

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD	CH BEARING
C1	14.56'	15.00'	55°36'13"	13.99'	S26°30'57"W

- SURVEY NOTES**
- Outlot 1 is to consist of blanket Access, Utility and Drainage easement. The parcel is to be owned and maintained by the Home Owners Association (HOA).
 - Outlot 2 is to consist of a blanket Utility and Drainage easement. The parcel is to be owned and maintained by the HOA.
 - Outlot 3 is to be designated as North Ridge Drive. The roadway is to consist of a blanket Access and Utility easement. The parcel is to be owned and maintained by the HOA.

PRELIMINARY

Paul B. Groves — On Behalf Of King Surveyors
Colorado Licensed Professional
Land Surveyor #38209

DATE: 12/21/2023
FILE NAME: 20230604SUB
SCALE: 1"=80'
DRAWN BY: CSK
CHECKED BY: PG

KING SURVEYORS
650 E. Garden Drive | Windsor, Colorado 80550
phone: (970) 686-5011 | email: contact@KingSurveyors.com



REVISIONS:

DATE:	CITY COMMENTS:	REVISED PER COMMENTS:
01/22/24	CSK	2/7/24

NORTH RIDGE MINOR SUBDIVISION
FOR
HARRISON HOMES LLC
33 STAGCOACH LANE
FORT MORGAN, CO 80701

PROJECT #:
20230604

P:\20230604\DRAWING\20230604SUB.Dwg, SHEET 2, 2/7/2024 9:35:02 AM, L1

PRELIMINARY PLANS NORTH RIDGE ESTATES

NORTH RIDGE DRIVE
TOWN OF WIGGINS,
MORGAN COUNTY, COLORADO



CivilWorx

4025 Automation Way
Suite B2
Fort Collins, CO 80525
(970) 698-6046
CivilWorxeng.com

SHEET INDEX	
CV01	COVER SHEET
SP01	SITE PLAN
LS01	LANDSCAPE PLAN
UT01	UTILITY PLAN
GR01	GRADING PLAN

PROJECT TEAM

OWNER	ENGINEER	SURVEYOR
HARRISON HOMES 33 STAGECOACH LANE FORT MORGAN, CO 80701 PHONE: 970-778-0466 CONTACT: DANIEL HARRISON	CIVILWORX, LLC 4025 AUTOMATION WAY, STE B2 FORT COLLINS, CO 80525 Office: 970-698-6046 CONTACT: JUSTIN BECKNER JUSTIN.BECKNER@CIVILWORXENG.COM	LAT40°, INC. PROFESSIONAL LAND SURVEYORS 6250 W. 10TH STREET, UNIT 2 GREELEY, COLORADO 80634 PHONE: (970) 515-5294 CONTACT:

UTILITY PROVIDERS

UTILITY	PROVIDER	CONTACT	PHONE
Sewer & Water	Town of Wiggins	Beau Warden	(970) 483-6161
Power	Morgan County Rural Electric		(970) 867-5688
Natural Gas	Xcel Energy		(970) 938-2285
Telecom/Cable	Wiggins Telephone Association		(970) 483-7343

Note: All utility providers listed hereon is provided as a courtesy. It is the responsibility of the recipient to verify the accuracy and completeness of the information shown.

PROJECT COORDINATES

PROJECT VERTICAL DATUM: NAVD 88.

BENCHMARK #1: ???????
STANDARD 2 1/2" ALUMINUM CAP, AT THE INTERSECTION OF ??? AND ???
ELEVATION=????

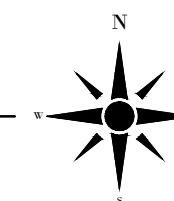
PROJECT HORIZONTAL DATUM:
COLORADO STATE PLAN COORDINATES NAD 83 DATUM. HORIZONTAL CONTROL BASED
UPON WEST LINE OF THE NORTHWEST QUARTER OF SECTION ???, T.3N., R.60W. AS
BEARING NORTH ??? ??' WEST.

NOTE:
1. ALL PROJECT CONTROL LISTED HEREON IS PROVIDED AS A COURTESY. IT IS THE
RESPONSIBILITY OF THE RECIPIENT TO VERIFY THE ACCURACY OF THE
COORDINATES AND ELEVATIONS SHOWN PRIOR TO USING THEM FOR ANY
PURPOSES.



VICINITY MAP

SCALE: 1" = 100'



NO.	DATE	BY	REVISIONS

The engineer preparing these plans will not be responsible for or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the engineer of these plans.

NORTH RIDGE ESTATES
COVER SHEET

DATE SUBMITTED: 11/14/2023

PREPARED FOR: HARRISON HOMES

TOWN APPROVAL BLOCK

This is to certify that the Construction Plans for Park View Condominiums were approved on this

_____ day of _____, 2018.

Town Administrator _____

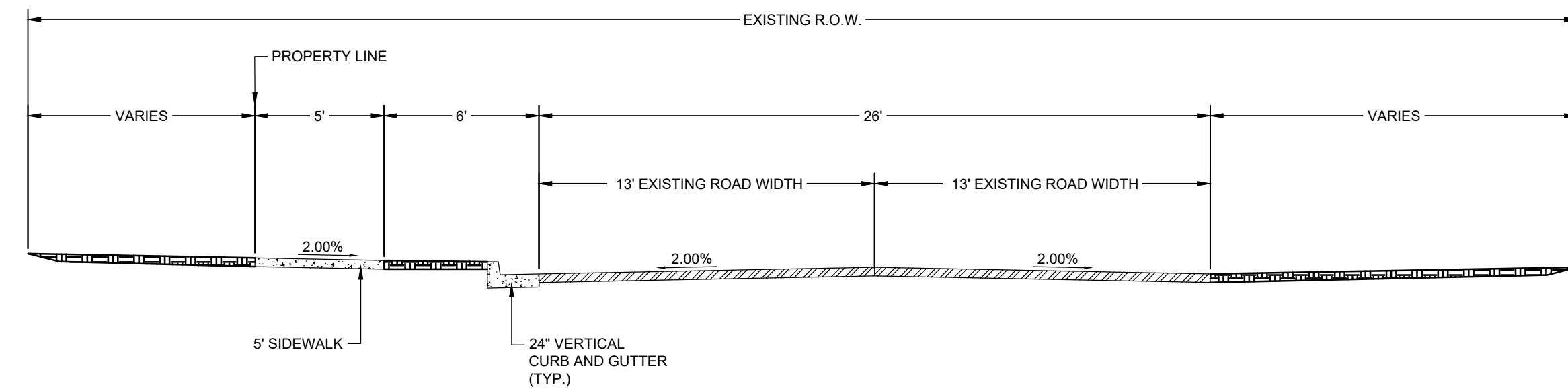
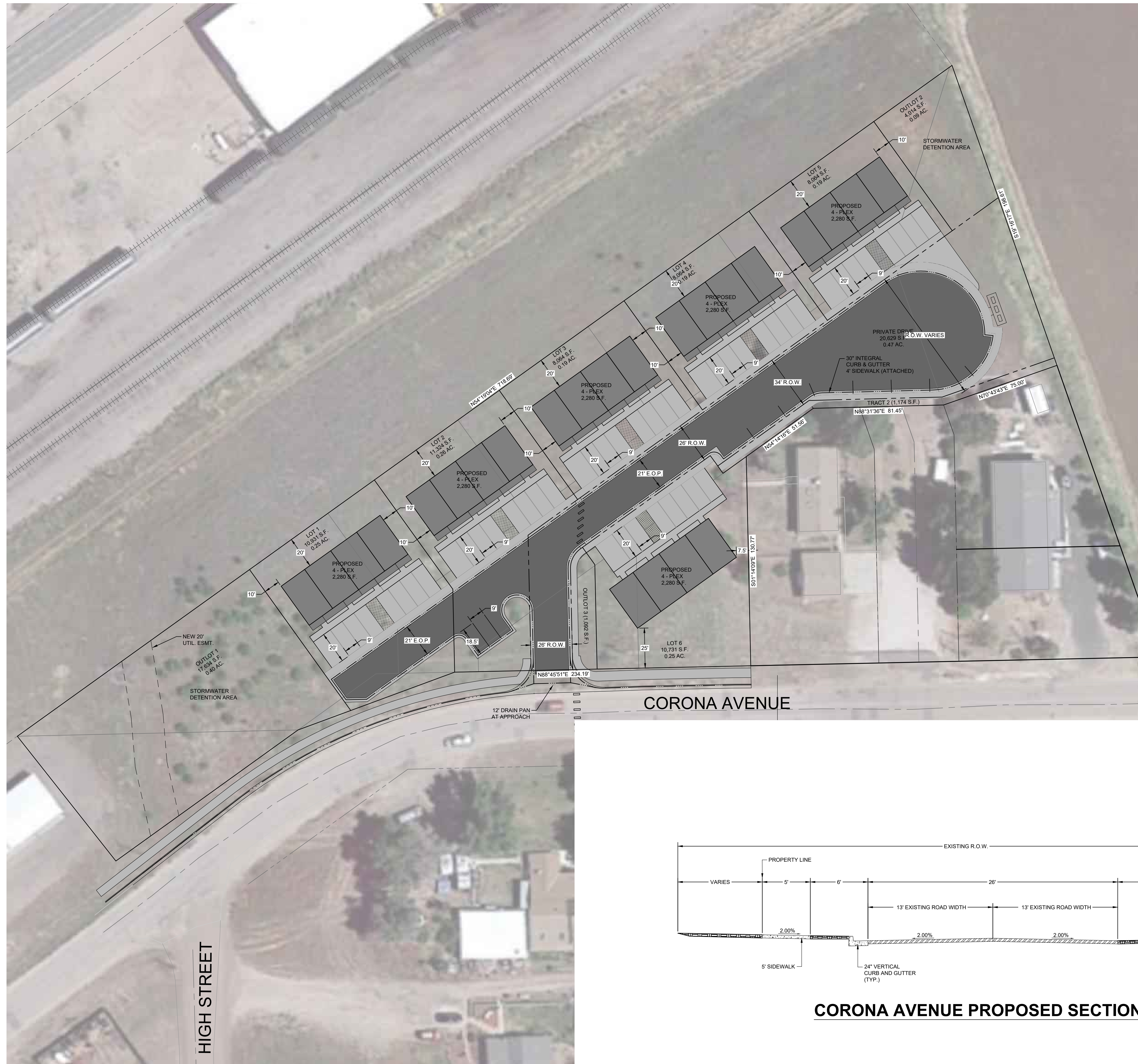
ATTEST: _____
Town Clerk



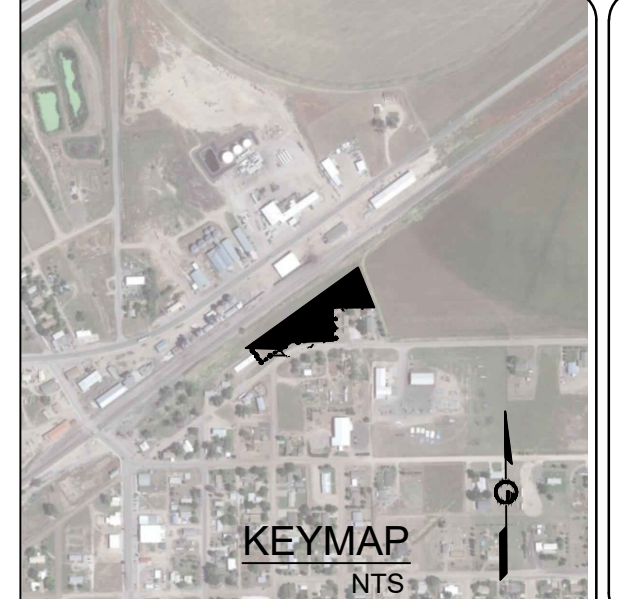
CALL BEFORE YOU DIG
ONE-CALL OF
WYOMING
1-800-849-2476
OR
811
UTILITY NOTIFICATION CENTER OF WYOMING

SHEET NUMBER CV01
1 OF 5 SHEETS
SCALE VERTICAL: N/A HORIZONTAL: N/A
JOB NUMBER C22021

Justin Bedner | D:\CivilWorx\Dropbox\CivilWorx\Projects\2022\C22021 - Northridge Estates\04_Drawings\AutoCAD\Construction_Sheets\Site Plan\SP_Site_Plan_C22021.dwg | 11/14/2023 11:54 AM |



CORONA AVENUE PROPOSED SECTION



CivilWorx
 4025 Automation Way
 Suite B2
 Fort Collins, CO 80525
 (970) 698-6046
 CivilWorxeng.com

LEGEND

- EXISTING LOT LINES
- PROPOSED LOT LINES
- R.O.W.
- EASEMENT LINES
- CENTERLINE
- PROPOSED ROAD
- PROPOSED HANDICAP RAMP
- FUTURE ROAD
- EXISTING ROAD

PROPOSED UTILITIES

- SS SANITARY SEWER
- SS SANITARY SERVICE
- SS SANITARY SEWER M.H.
- W(8) 8" WATER LINE
- W(8) WATER SERVICE
- Fire Hydrant
- Water Line Bends
- Thrust Block
- Gate Valve
- Storm Drain Pipe
- Storm Drain M.H.
- Storm Drain Inlet
- Storm Drain Flared End Section
- Temporary Type 3 Barricade

EXISTING UTILITIES

- W WATER LINE
- SS SANITARY SEWER
- SD STORM DRAIN PIPE
- SS SANITARY SEWER M.H.
- SD STORM SEWER M.H.

NOTES

1. PHASES MAY OR MAY NOT BE CONSTRUCTED IN THE ORDER SHOWN. EACH PHASE MUST BE CONTIGUOUS WITH THE PRECEDING PHASE.
2. TEMPORARY TYPE 3 BARRICADES ARE TO BE CONSTRUCTED AT THE ENDS OF ALL DEAD-END STREETS OR STREET STUBS FOR EACH PHASE.
3. ALL DEAD-END WATER LINES SHALL BE EQUIPPED WITH A TEMPORARY BLOW-OFF OR FIRE HYDRANT.
4. TWO APPROVED MEANS OF ACCESS SHALL BE PROVIDED TO THE SITE DURING ALL PHASES OF CONSTRUCTION.

North arrow pointing up.

SCALE: 1" = 30'

0 15' 30' 60'

NO.	DATE	BY	REVISIONS

DATE SUBMITTED: 11/14/2023

**NORTH RIDGE ESTATES
SITE PLAN**

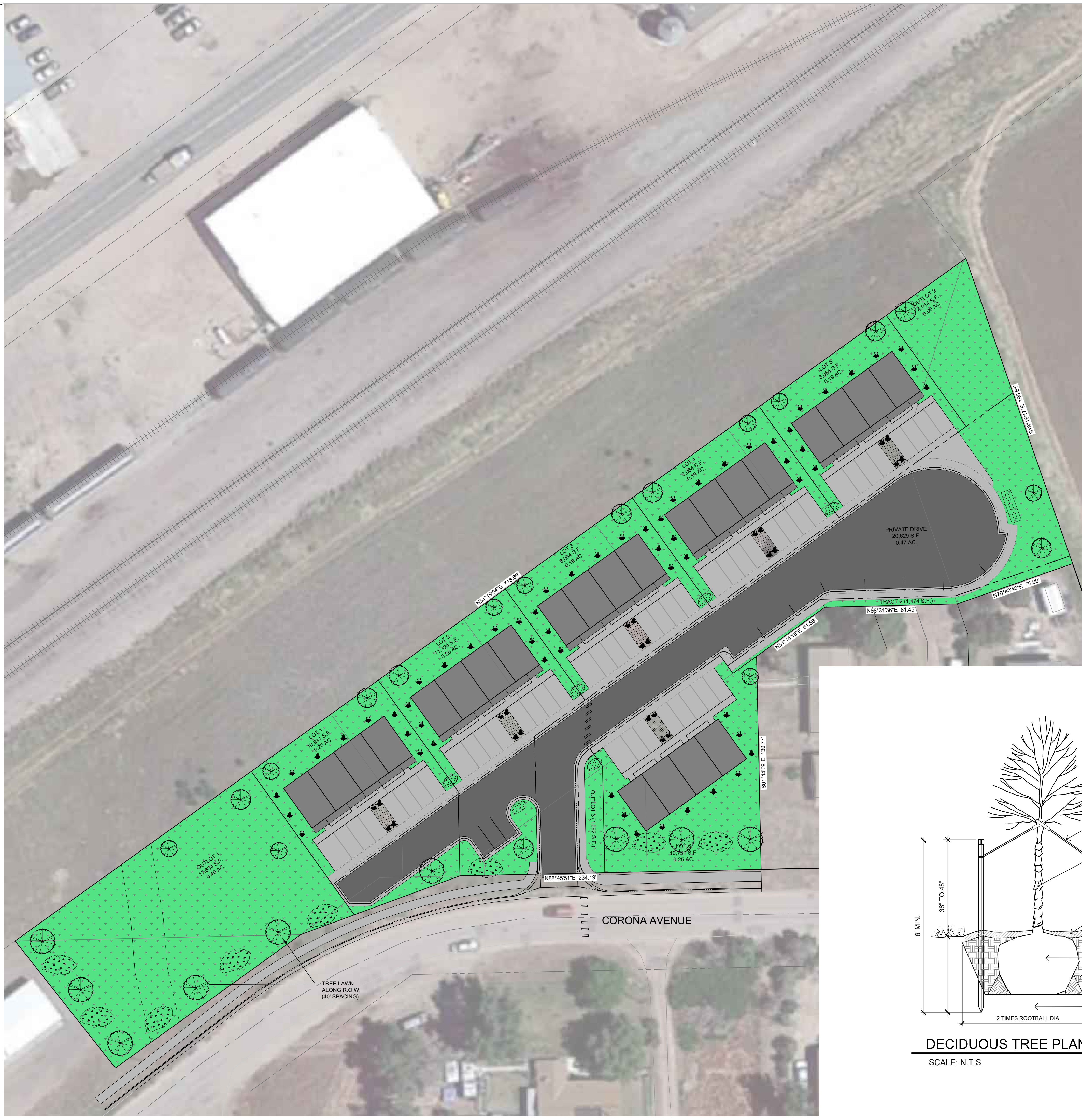
PREPARED FOR: HARRISON HOMES

SHEET NUMBER
SP01
2 OF 5 SHEETS

SCALE
VERTICAL: N/A
HORIZONTAL: N/A

JOB NUMBER
C22021

The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the engineer of these plans.



LANDSCAPE LEGEND

- MISCELLANEOUS FLOWER BED
- PERENNIAL SHRUBS & GRASSES
- DECIDUOUS/CONIFEROUS TREE
- SOD AND/OR NATIVE GRASS

LEGEND

- EXISTING LOT LINES
- PROPOSED LOT LINES
- R.O.W.
- EASEMENT LINES
- CENTERLINE
- PROPOSED ROAD
- PROPOSED HANDICAP RAMP
- FUTURE ROAD
- EXISTING ROAD

PROPOSED UTILITIES

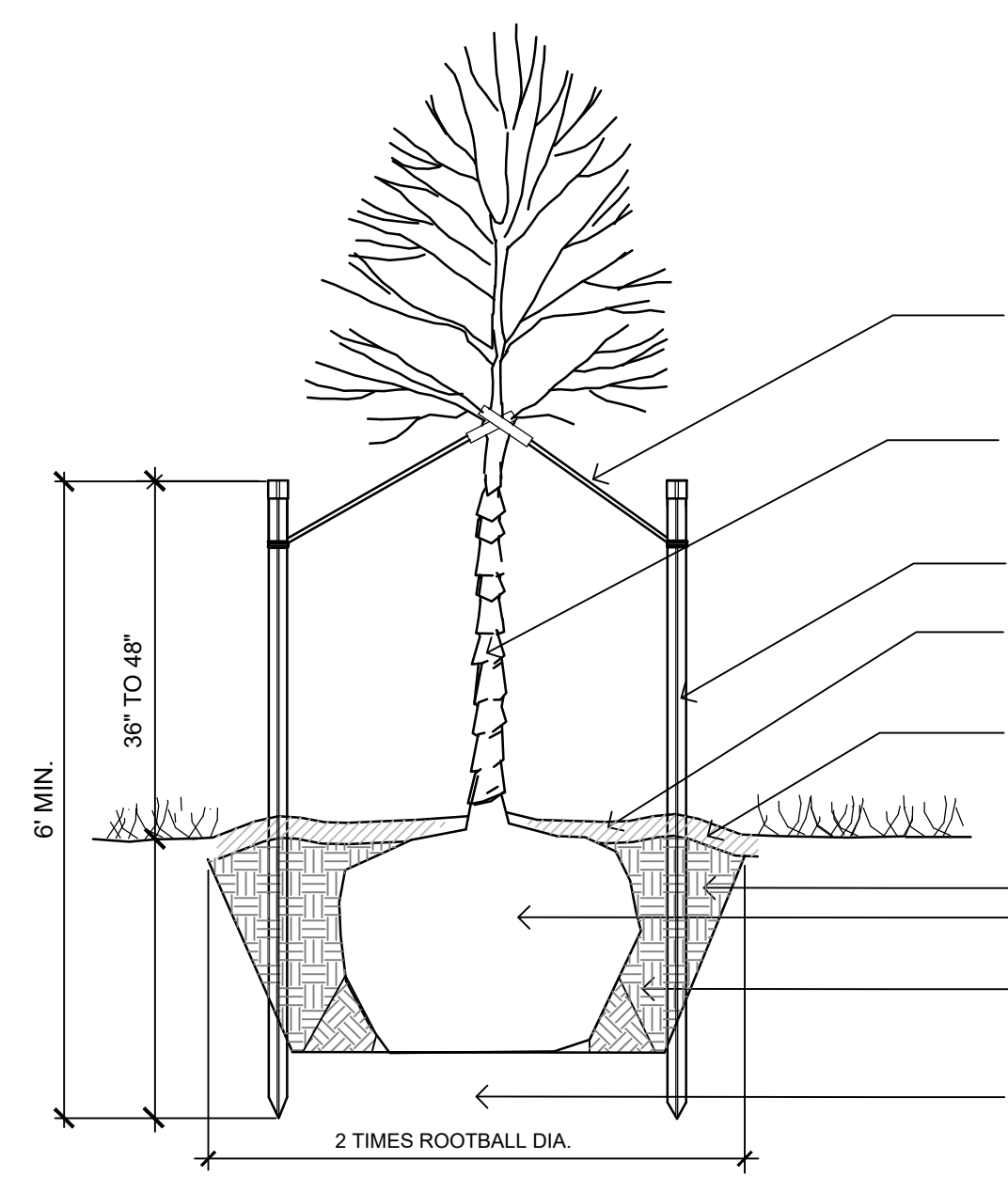
- SANITARY SEWER
- SANITARY SERVICE
- SANITARY SEWER M.H.
- 8" WATER LINE
- WATER SERVICE
- FIRE HYDRANT
- WATER LINE BENDS
- THRUST BLOCK
- GATE VALVE
- STORM DRAIN PIPE
- STORM DRAIN M.H.
- STORM DRAIN INLET
- STORM DRAIN FLARED END SECTION
- TEMPORARY TYPE 3 BARRICADE

EXISTING UTILITIES

- WATER LINE
- SANITARY SEWER
- STORM DRAIN PIPE
- SANITARY SEWER M.H.
- STORM SEWER M.H.

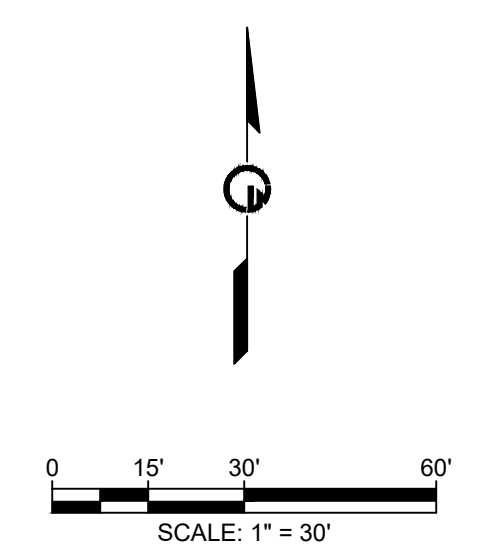
NOTES

1. PHASES MAY OR MAY NOT BE CONSTRUCTED IN THE ORDER SHOWN. EACH PHASE MUST BE CONTIGUOUS WITH THE PRECEDING PHASE.
2. TEMPORARY TYPE 3 BARRICADES ARE TO BE CONSTRUCTED AT THE ENDS OF ALL DEAD-END STREETS OR STREET STUBS FOR EACH PHASE.
3. ALL DEAD-END WATER LINES SHALL BE EQUIPPED WITH A TEMPORARY BLOW-OFF OR FIRE HYDRANT.
4. TWO APPROVED MEANS OF ACCESS SHALL BE PROVIDED TO THE SITE DURING ALL PHASES OF CONSTRUCTION.



DECIDUOUS TREE PLANTING

SCALE: N.T.S.



SCALE:
VERTICAL: N/A
HORIZONTAL: N/A

CivilWorx
4025 Automation Way
Suite B2
Fort Collins, CO 80525
(970) 698-6046
CivilWorxeng.com

NO.	DATE	BY	REVISIONS

DATE SUBMITTED: 11/14/2023

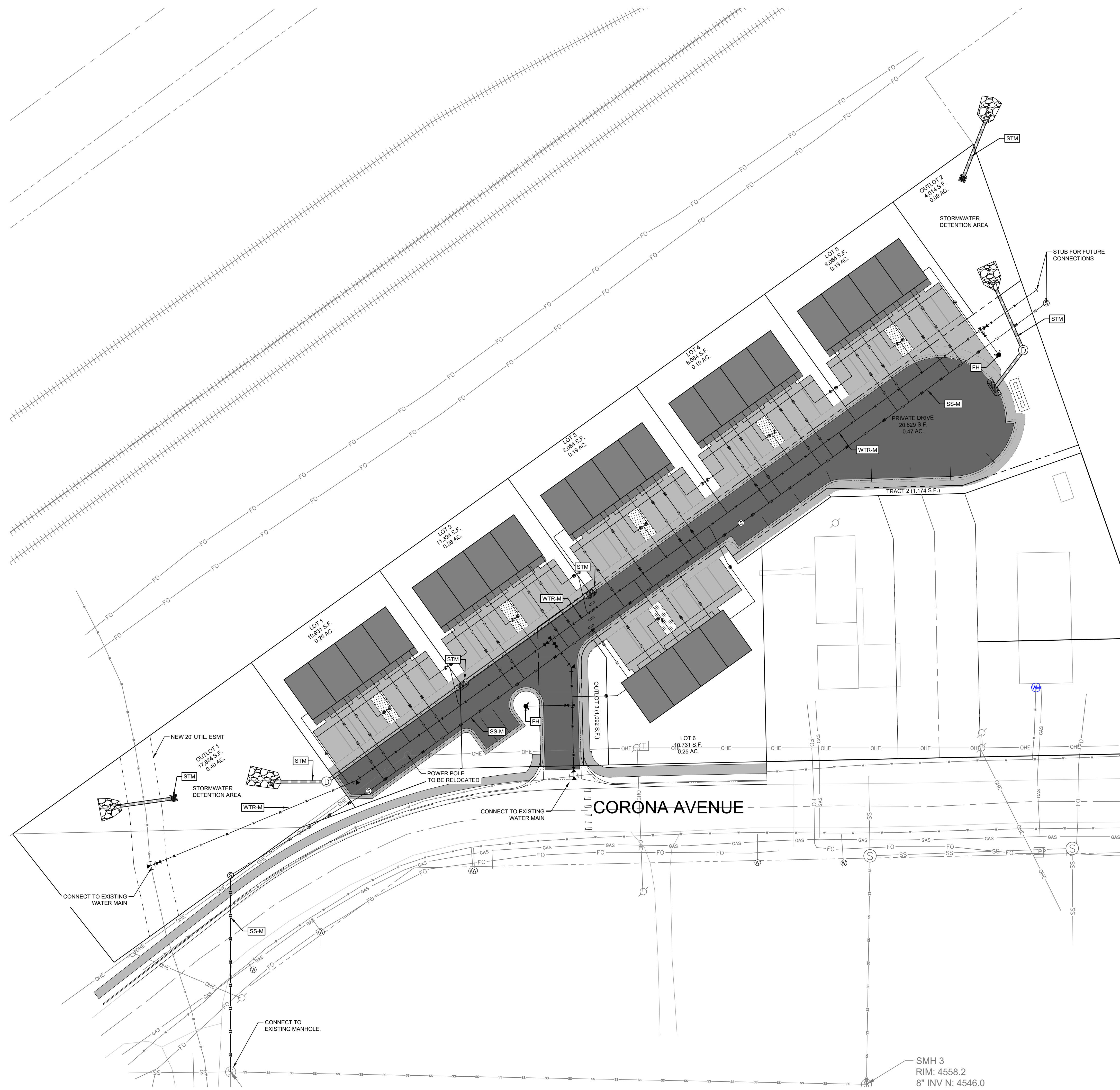
**NORTH RIDGE ESTATES
LANDSCAPE PLAN**

PREPARED FOR: HARRISON HOMES

SHEET NUMBER
LS01
3 OF 5 SHEETS
SCALE
VERTICAL: N/A
HORIZONTAL: N/A
JOB NUMBER
C22021

Justin Bedner | D:\CivilWorx\CivilWorx\Dropbox\CivilWorx\Projects\2023\C22021 - Northridge Estates\04_Drawings\AutoCAD\Construction_Sheets\Site Plan\SP_Site_Plan_C22021.dwg | 11/14/2023 11:54 AM |

I:\Company\Drawings\Drawings\Projects\2022\C22021 - Northridge Estates\AutoCAD\Construction Sheets\Site Plan\UT_Utility_Plan_C22021.dwg | 11/14/2023 11:08 AM |



- FH NEW FIRE HYDRANT
- WTR-M WATER MAIN (8" UNLESS NOTED)
- SS-M SANITARY MAIN (8" UNLESS NOTED)
- STM NEW STORM SEWER

LEGEND

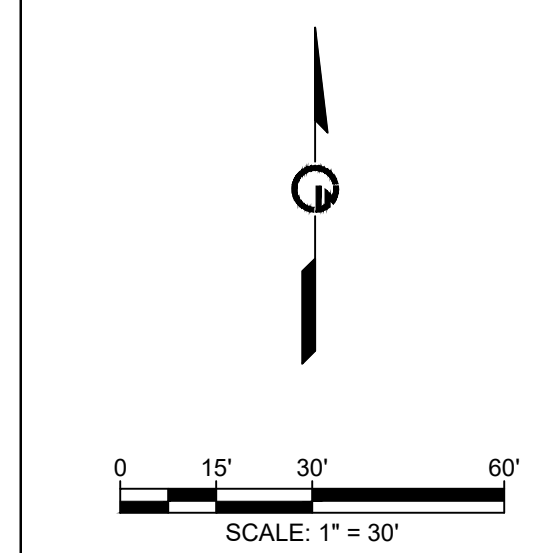
- MAPPING / SITE**
- PROPERTY BOUNDARY
 - RIGHT-OF-WAY
 - LOT LINES
 - EASEMENTS
 - CURB AND GUTTER

- PROPOSED UTILITIES**
- W WATER LINE
 - WATER SERVICE
 - FIRE HYDRANT
 - SS SANITARY LINE
 - SS SANITARY SERVICE
 - SS SANITARY MANHOLE
 - RWT RECLAIMED WATER LINE
 - RECLAIMED WATER SERVICE
 - IRR IRRIGATION LINE
 - IRR IRRIGATION SERVICE
 - SDM STORM DRAIN PIPE
 - FLARED END SECTION
 - SDI STORM DRAIN INLET
 - SDO STORM DRAIN OUTLET
 - RR RIP RAP
 - SL STREET LIGHT

- EXISTING UTILITIES**
- ST STORM DRAIN PIPE
 - FLARED END SECTION
 - SDI STORM DRAIN INLET
 - SDO STORM DRAIN OUTLET
 - RR RIP RAP
 - SL STREET LIGHT

NOTES

1. MINIMUM HORIZONTAL EDGE TO EDGE SEPARATION BETWEEN SANITARY SEWER & WATER LINES IS 10 FEET.
2. WATER MAINS CROSSING OVER A SANITARY OR STORM SEWER SHALL MAINTAIN AN 18" VERTICAL EDGE TO EDGE CLEARANCE. WATER MAINS CLOSER THAN 18" OR UNDER SEWERS SHALL BE ENCASED.
3. ALL PROPOSED SANITARY SEWER LINES ARE 8" UNLESS NOTED OTHERWISE ON THE PLANS.
4. MINIMUM COVER ON WATER LINES IS 5'.
5. ALL EXISTING UTILITIES TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
6. REFER TO SANITARY SEWER PLAN AND PROFILES FOR MORE INFORMATION.
7. REFER TO WATER PLAN AND PROFILES FOR MORE INFORMATION.
8. REFER TO STORM DRAIN PLAN & PROFILES FOR MORE INFORMATION.
9. ALL SEWER SERVICES SHALL BE 4" PVC UNLESS NOTED OTHERWISE.
10. ALL WATER SERVICES SHALL BE 3/4" UNLESS NOTED OTHERWISE.
11. CURB STOPS SHALL BE 5.5' TALL AND BURIED 6" BELOW FINISHED GROUND ELEVATION.



CivilWorx
 4025 Automation Way
 Suite B2
 Fort Collins, CO 80525
 (970) 698-6046
 CivilWorxeng.com

NO.	DATE	BY	REVISIONS

DATE SUBMITTED: 11/14/2023

**NORTH RIDGE ESTATES
UTILITY PLAN**

PREPARED FOR: HARRISON HOMES

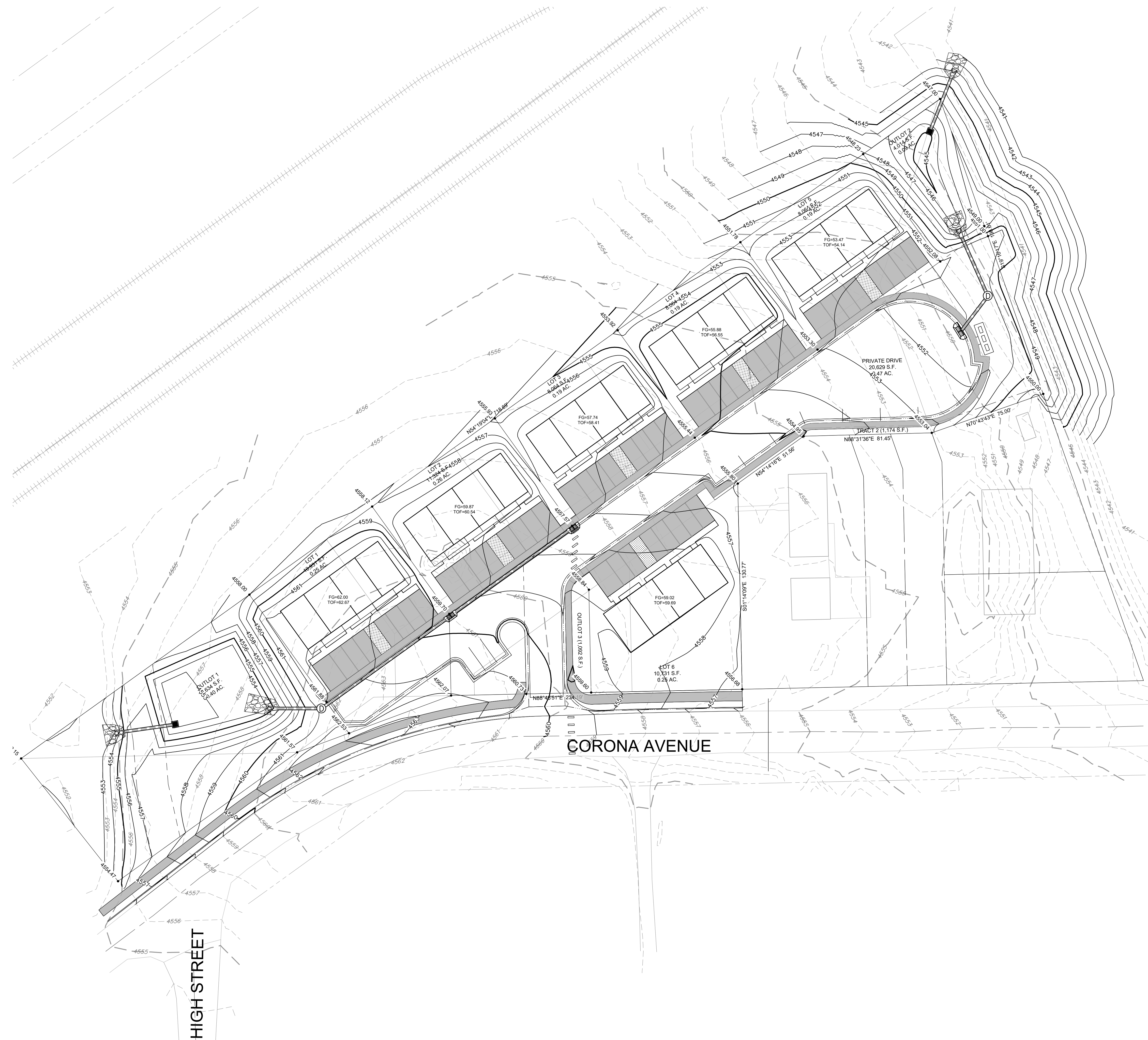
SHEET NUMBER
UT01
4 OF 5 SHEETS

SCALE
VERTICAL: N/A
HORIZONTAL: N/A

JOB NUMBER
C22021

The engineer preparing these plans will not be responsible for or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the engineer of these plans.

Justin Bedner | D:\CivilWorx\Dropbox\CivilWorx\Projects\2021\C22021 - Northridge Estates\Drawings\AutoCAD\Construction\Sheets\Site Plan\GR_Grading_Plan_C22021.dwg | 11/14/2023 11:58 AM |



CivilWorx
4025 Automation Way
Suite B2
Fort Collins, CO 80525
(970) 698-6046
CivilWorxeng.com

LEGEND

MAPPING / SITE

- PROPERTY BOUNDARY
- RIGHT-OF-WAY
- LOT LINES
- EASEMENTS
- CENTER LINE
- CURB AND GUTTER
- EXISTING CONTOURS
- PROPOSED CONTOURS

PROPOSED UTILITIES

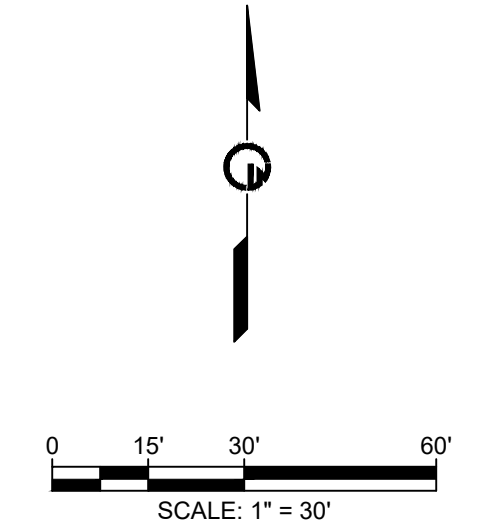
- STORM DRAIN PIPE
- FLARED END SECTION
- STORM DRAIN INLET
- STORM DRAIN OUTLET
- RIP RAP

EXISTING UTILITIES

- STORM DRAIN PIPE
- FLARED END SECTION
- STORM DRAIN INLET
- STORM DRAIN OUTLET
- RIP RAP

NOTES

1. SPOT ELEVATIONS ON THE ROAD ARE TO FINISHED SURFACE. CONSULT THE SOILS REPORT FOR PAVEMENT SECTION. SPOT ELEVATIONS ALONG CURB AND GUTTER ARE TO TOP BACK OF CURB.
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE FIELD CONDITIONS ARE AS SHOWN IN THE DRAWINGS. IF THE CONTRACTOR FINDS DISCREPANCIES THE CONTRACTOR SHALL CONTACT THE ENGINEER.
3. TOP OF FOUNDATION ELEVATIONS SHOWN ARE RECOMMENDED ELEVATIONS AND ARE FOR INFORMATION ONLY. THEY ARE NOT MEANT NOR DO THEY REPLACE BUILDERS PLOT PLANS FOR EACH LOT.
4. ALL DISTURBED AREAS NOT PAVED SHALL BE RE-VEGETATED.



NO.	DATE	BY	US	REVISIONS

DATE SUBMITTED: 11/14/2023

**NORTH RIDGE ESTATES
GRADING PLAN**

PREPARED FOR: HARRISON HOMES

SHEET NUMBER
GR01
5 OF 5 SHEETS

SCALE
VERTICAL: N/A
HORIZONTAL: N/A

JOB NUMBER
C22021

The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the engineer of these plans.



FIGURE F

NORTHRIDGE ESTATES



PRELIMINARY DRAINAGE & EROSION CONTROL REPORT

14 DECEMBER 2023



CivilWorx

PROPOSED TO:
Harrison Homes, LLC

PRESENTED BY:

Civilworx
000036



December 14, 2023

Tom Acre
Town Manager – Interim Town Clerk
304 E Central Avenue
Wiggins, CO 80654
970.483.6161
Tacre@wigginsco.com

RE: Northridge Estates, Preliminary Drainage Report (Multi-Family)
CivilWorx Project Number: C22021

Dear Tom:

CivilWorx, LLC. is pleased to submit this *Preliminary Drainage Report* for The Multi-Family Northridge Estates development in Wiggins, Colorado. In general, this report serves to document the stormwater impacts associated with the proposed development.

We understand that review by the City of Wiggins is to assure general compliance with standardized criteria for Morgan County and the Town of Wiggins. This report was prepared in compliance with technical criteria set forth in the Colorado Floodplain and Stormwater Design Criteria and the Mile High Flood District (MHFD) Urban Storm Drainage Criteria Manual.

If you should have any questions or comments as you review this report, please feel free to contact me at your convenience.

Sincerely,

Justin Beckner, PE
Principal
CivilWorx, LLC



TABLE OF CONTENTS

	<u>PAGE</u>
I. General Location and Description	1
A. Location	1
B. Description of Property	2
C. Description of Development.....	2
II. Drainage Basins and Sub-Basins	2
A. Major Basin Description.....	2
B. Pre-Development Drainage Patterns.....	3
III. Drainage Design Criteria	4
A. Regulations	4
B. Development Criteria Reference and Constraints	4
C. Hydrological Criteria and References	4
D. Hydraulic Criteria and Governing Standards	4
IV. Drainage Facility Design.....	5
A. General Concept	5
B. Infiltration Ponds	7
V. Sediment/Erosion Control	7
VI. Conclusions.....	8
A. Compliance with Standards	8
VII. Certification	8
VIII. References.....	9

LIST OF FIGURES & TABLES

Figure 1. Vicinity Map	1
Figure 2. Major Basin Location Map.....	3
Table 1. Runoff Summary	6
Table 2. Storm Sewer Piping Performance Summary.....	6
Table 3. Detention Facility Summary.....	7

APPENDICES

- APPENDIX A
- APPENDIX B
- APPENDIX C

I. General Location and Description

A. Location

The Northridge Estates Multifamily project site (referred herein as "the site") is located North of the intersection of Corona Avenue and High Street in Wiggins, Colorado.



Figure 1. Vicinity Map

B. Description of Property

Currently, the site is non irrigated vacant land. The following is a summary of the existing conditions:

Ground Cover - The site currently largely vacant land and adjoins the existing farmland to the East and railroad to the North. Ground cover is currently native pasture with few trees and/or shrubs.

Grades – In general, the site gradient splits between northwesterly and northeasterly. The measured gradients are approximately between 0.03 – 0.09 ft/ft.

Soil Type - According to the NRCS Web Soil Survey, the majority of the site consists of Valent Sand (Hydrologic Soil Group A), Valend-Dwyer Sands (Hydrologic Soil Group A), and Bijou Loamy Sand (Hydrologic Soil Group A).

Utilities – Existing utilities are present around the outside of the site in the existing developments to the South and North. At the North end of the Site and along the existing Railroad Easement there are existing parallel lines of fiber optic. Overhead power lines exist within the existing property along the southern property line. There are multiple utilities including water, sanitary sewer, storm sewer, natural gas, telephone, fiber, and electric, all located within the Corona Street R.O.W.

Storm Drainage / Irrigation Facilities – Currently there are no facilities that direct storm water runoff for either stormwater management or irrigation located on site. The site sheet flows to the northwest and northeast off property.

C. Description of Development

The Northridge Estates Multifamily project is approximately 2.1 acres in total. The proposed development consists of six 4-plex townhomes as well as open space areas. The site will feature two (2) newly designed detention/retention infiltration ponds that will handle most of the runoff generated on the site. The new ponds will be referred to as “Pond A”, and “Pond B”.

II. Drainage Basins and Sub-Basins

A. Major Basin Description

The project and a large portion of the Town of Wiggins are located within the Kiowa Creek sub-basin of the South Platte River Basin based on the National Hydrography Dataset (NHD). The site is situated outside of regulatory special flood hazards areas outlined by FEMA FIRM panels 08087C0469 D and 08087C0470 E, effective April 4, 2018 and May 18, 2021 respectively. The current site designation is a Zone ‘X’ in relation to flood hazard which is defined as: ‘Areas within the 0.2% annual chance floodplain’.

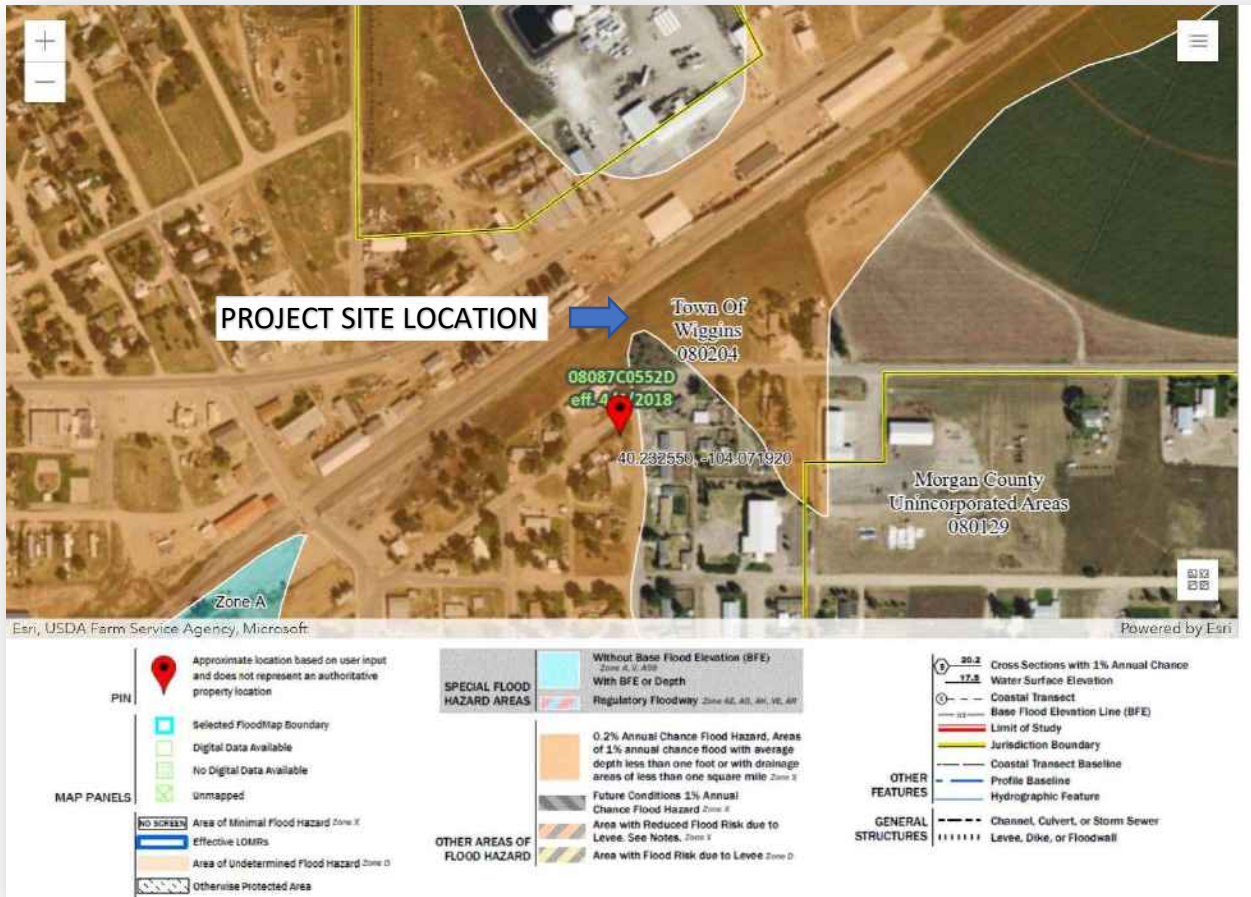


Figure 2. Major Basin Location Map

B. Pre-Development Drainage Patterns

The site has split drainage directions, historically. The southwest quarter drains from a centrally located high point overland to the northwest. Likewise, the northeast three quarters of the site drains predominantly northeast into existing farmland and along the adjacent railroad easement. Once the runoff exits the site it has no natural flow path and congregates in low lying areas until it infiltrates into the sandy soils.

III. Drainage Design Criteria

A. Regulations

The design criteria for this study are taken directly from the Colorado Floodplain and Stormwater Criteria Manual and the Urban Storm Drainage Criteria Manuals Volumes 2, and 3 produced by Mile High Flood District (referred to herein as MHFD).

B. Development Criteria Reference and Constraints

The criteria used as the basis to analyze and design stormwater features for this project were done according to the references cited in this report. The runoff rates and detention pond sizing for this site were calculated and sized per the Colorado Floodplain and storm water criteria manual using the 1-hour, 100-year point precipitation rainfall quantity and as modeled with the hydrological model for the project.

C. Hydrological Criteria and References

The design process uses the NOAA Atlas 14-point rainfall data for Wiggins, Colorado for development of 2-Year, 5-Year, 10-Year, and 100-Year 24-hour rainfall events. These design storm events are outlined in detail in Appendix B. The peak flows for the minor and major storm events were calculated using the MHFD Rational Method Workbook and compared to SWMM, ver. 5.2.4 to confirm capacities of storm pipes and anticipated storage volumes for the detention facilities (Appendix B).

The proposed developed drainage networks, including the stormwater detention systems, were designed using the US EPA Stormwater Management Model (SWMM, ver. 5.2.4) software. The performance of the detention/retention systems are estimated within the SWMM model for the minor and major storm events. Developed runoff hydrographs are estimated using EPA SWMM sub-catchment rainfall-to-runoff algorithms. Dynamic wave routing within the SWMM model was used to confirm capacity for storm sewer systems from the UD Criteria Manual Rational Method workbook and Hydraulic Toolbox Calculator. SWMM sub-catchment width parameters are calibrated using the theory of cascading planes (see Guo reference). This method was also documented in the 2016 SWMM Hydrology Reference Manual published by the EPA. Overland flow manning's 'n' is calibrated to average overland flow transitions to shallow concentrated flow and channel flow within the sub-catchment sub-areas. Retention storage volumes are based on hydrograph routing and stage-area curves developed from the project grading plans.

D. Hydraulic Criteria and Governing Standards

The developed site will convey runoff to the proposed detention ponds via swales, concrete pans, and pipes. MHFD was referenced for all hydraulic calculations.

IV. Drainage Facility Design

A. General Concept

The developed project includes the construction of multifamily townhomes, open space areas and associated infrastructure as outlined on the site plan included in Appendix A.

The Northridge Estates development includes the construction of six (6) multifamily 4-plex residential units. The drainage design and modeling provided in this report account for most of the 2.1 acres of the Northridge Estates multifamily project site. Calculations are included in the Appendices with summaries included in the descriptions below. Two new detention ponds are proposed to handle flows from the development. The percent impervious for each catchment was calculated based off the proposed improvements and an assumed (conservative) buildings size. These imperviousness percentage values were taken from the MHFD.

The proposed project site is divided into six (6) total catchments. Three (3) catchments (C1, C3, and C4) drain to the west detention pond developed on the site through either surface flows or through proposed storm sewer systems (referred to as Pond A). Two (2) catchments (OS1 and OS2) drain North and South off property respectively. The remaining two (2) catchments (C5 and C6) drain to the east detention pond (Pond B) through surface flows and proposed storm sewer systems.

Proposed Drainage Catchments

Catchments: The catchments will drain via surface flow, swales, curb and gutter, and storm sewer systems. Most of the catchments will drain to a detention facility.

Catchment C1: Catchment C1 consists of 0.28 acres of open space and the west detention facility (Pond A). The runoff surface flows into the pond where it is stored and released.

Catchment C2: Catchment C2 consists of 0.13 acres of a portion of one residential lot, some open space, parking, paving, and curb and gutter. The runoff will collect in the curb and gutter and flow to a proposed inlet to be routed west to Pond A.

Catchment C3: Catchment C3 consists of 0.24 acres of a portion of one residential lot, some open space, parking, paving, and curb and gutter. The runoff will collect in the curb and gutter and flow to a proposed inlet to be routed west to Pond A.

Catchment C4: Catchment C4 consists of 0.92 acres of a portion of 4 residential lots, some open space, parking, paving and curb and gutter. The runoff will collect in the curb and gutter and flow to a proposed two (2) foot curb cut that will be routed into Pond B.

Catchment C5: Catchment C5 consists of 0.13 acres of open space and the east detention facility (Pond B). The runoff surface flows into the pond where it is stored and released.

Offsite Catchments: Offsite catchments consist of areas on the Northridge property that will drain off the site. Most of this area consists of the Burlington Northern Railroad Right of Way and Town of Wiggins Corona Avenue Right of Way to the South.

Catchment OS-1: Catchment OS-1 consists of 0.43 acres of open space over five (5) residential lots that have split drainage. The runoff surface flows to the north offsite through overland flow and grass swales to historic outfalls.

Catchment OS-2: Catchment OS-2 consists of 0.11 acres of open space that surface flows to the existing Corona Avenue Right of Way.

Table 1 summarizes all the drainage catchments associated with the Northridge development.

Table 1. Runoff Summary							
Catchment	Area (Ac.)	% Imperv	C ₂	C ₁₀₀	Q ₂ (cfs)	Q ₁₀₀ (cfs)	Outfall
C1	0.28	2	0.01	0.13	0.00	0.26	Pond A
C2	0.13	60	0.43	0.58	0.17	0.66	Pond A
C3	0.24	75	0.58	0.69	0.43	1.53	Pond A
C4	0.92	75	0.58	0.69	1.34	4.72	Pond B
C5	0.13	2	0.01	0.13	0.00	0.14	Pond B
OS-1	0.43	25	0.14	0.30	0.17	1.08	Offsite
OS-2	0.11	25	0.14	0.30	0.04	0.24	Offsite
EX01	0.38	2.0	0.01	0.13	0.00	0.33	Existing NW
EX02	1.75	2.0	0.01	0.13	0.01	1.02	Existing NE

Storm Sewers

- **Storm Line A** – This system collects runoff from the catchments C2 and C3 via two 5’ type R inlets. It ultimately conveys all this water to proposed detention pond A.
- **Storm Line B** – This system collects runoff from catchment C4 via a two (2) foot curb cut. It ultimately conveys all this water to proposed detention pond B.

The proposed drainage system for the project was sized based on the 100-year, 1-hour flows from each catchment using the Rational Method workbook from the Mile High Flood Control District and checked for capacity at full depths in Hydraulic Toolbox ver. 5.2.

Table 2. Storm Sewer Piping Performance Summary				
Catchment	Q ₁₀₀ cfs (Sum)	Pipe Size	Capacity cfs	Description – Pipe Slope
C3	1.53	18”	4.55	Storm Line A – 0.25%
C2	2.19	18”	4.55	Storm Line A – 0.25%
C1	2.45	18”	28.8	Storm Line A – 1.00%
C4	5.58	24”	9.10	Storm Line B – 1.00%

B. Detention Ponds

Northridge Estates will utilize two detention ponds to help mitigate runoff from the developed site. Storage capacity was determined using EPA SWMM ver. 5.2.4.

Table 6 summarizes volumes for the proposed detention ponds as part of the project:

Table 3. Detention Facility Summaries 100 yr and 2yr – 1 hour						
Facility	Depth ₁₀₀	HGL ₁₀₀	Freeboard (ft)	100 Year, 1 Hour Event		Outflow
				Storage Required (AF)	Storage Provided (AF)	Q ₁₀₀ cfs
Northridge "Pond A"	1.92	4554.78	0.42	0.18	0.19	0.34
Northridge "Ponds B & B2"	2.55	4546.43	0.45	0.24	0.18	4.12
Facility	Depth ₂	HGL ₂	Freeboard (ft)	2 year, 1 Hour Event		Outflow
				Storage Required (AF)	Storage Provided (AF)	Q ₂ (cfs)
Northridge "Pond A"	0.48	4553.34	1.72	0.006	0.19	0.15
Northridge "Ponds B & B2"	1.36	4545.24	1.64	0.002	0.18	0.49

Per the table above, the ponds contain the full amount of the minor storm event. However, ponds B and B2 are short in volume for the 100 year-1 hour event. Since all the water runs out into a field with no outlet the time for the water to infiltrate the sandy soils in that area will have little effect on the overall site.

V. Sediment/Erosion Control

A separate Storm Water Management Plan (SWMP) will be prepared for the site in accordance with the Stormwater Discharge Permit for Colorado Department of Public Health and Environment. The SWMP will include more detailed information on the sediment and erosion control items for this project. Temporary BMP's have been included in the plans for this development. At a minimum, the following temporary BMP's will be installed and maintained to control on-site erosion and prevent sediment from traveling off-site during construction:

- Silt Fence – a woven synthetic fabric that filters runoff. The silt fence is a temporary barrier that is placed at the base of a disturbed area.
- Vehicle Tracking Control – a stabilized stone pad located at points of ingress and egress on a construction site. The stone pad is designed to reduce the amount of mud transported onto public roads by construction traffic.
- Straw Wattles – wattles act as a sediment filter in swales around inlets. They are a temporary BMP and require proper installation and maintenance to ensure their performance.
- Inlet Protection – acts as a sediment filter. It is a temporary BMP and requires proper installation and maintenance to ensure their performance.

The contractor shall store all construction materials and equipment and shall provide maintenance and fueling of equipment in confined areas on-site from which runoff will be contained and filtered. The temporary Best Management Practices (BMP's) will be inspected by the contractor at a minimum of once every two weeks and after each significant storm event.

VI. Conclusions

A. Compliance with Standards

Storm drainage calculations have followed the guidelines provided by the Colorado Floodplain Stormwater Criteria Drainage Concept.

The drainage system has been designed to convey the runoff to the designated design points and the proposed detention ponds in an effective and safe manner to mitigate runoff generated from the development. No negative impacts are expected from this development, however site constraints have limited our ability to detain the full 100-year runoff to the Northeast at present design.

VII. Certification

"I hereby attest that this report for the *Northridge Estates* development, located in *Wiggins, CO*, was prepared by me, or under my direct supervision, for the responsible parties thereof. I understand the City of Wiggins does not and shall not assume liability for drainage facilities designed by others.

<sealed with final acceptance>

Justin Beckner
Registered Professional Engineer
State of Colorado No. 40968

VIII. References

1. Colorado Floodplain and Stormwater Criteria Manual, Colorado Water Conservation Board, Denver, Colorado, September 30th, 2008
2. Urban Storm Drainage Criteria Manuals 2 and 3, Mile High Flood District, Denver, Colorado, November 2010 as currently (Oct 2019) amended.
3. Urban Storm Drainage Criteria Manuals 2 and 3, Urban Drainage and Flood Control District, Denver, Colorado, November 2010 as currently (Feb 2018) amended.
4. Storm Water Management Model, Reference Manual Volume I, Hydrology, U.S. Environmental Protection Agency, January 2016.
5. Storm Water Management Model, Reference Manual Volume II, Hydraulics, U.S. Environmental Protection Agency, May 2017.



APPENDIX A – DRAINAGE PLAN MAPS

C:\Users\challenger\OneDrive\Documents\Projects\2023\C22021 - Northridge Estates\Drawings\AutoCAD\civil3d\C22021_P1_DRAINAGE.dwg | 12/17/2023 4:43 PM |



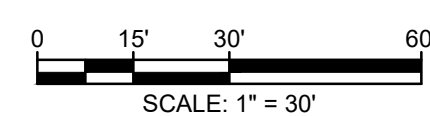
LEGEND

- - - - - BASIN BOUNDARY
- PROP. MAJOR CONTOUR
- PROP. MINOR CONTOUR
- EX. MAJOR CONTOUR
- EX. MINOR CONTOUR

Subcatchment Name	Area (ac)	NRCS Hydrologic Soil Group	Percent Imperviousness	Runoff Coefficient, C						
				2-yr	5-yr	10-yr	25-yr	50-yr	100-yr	500-yr
EX01	0.38	A	2.0	0.01	0.01	0.01	0.01	0.04	0.13	0.27
EX02	1.75	A	2.0	0.01	0.01	0.01	0.01	0.04	0.13	0.27
C1	0.28	A	2.0	0.01	0.01	0.01	0.01	0.04	0.13	0.27
OS1	0.43	A	25.0	0.14	0.15	0.16	0.19	0.24	0.30	0.42
C2	0.13	A	60.0	0.43	0.45	0.47	0.50	0.54	0.58	0.64
C3	0.24	A	75.0	0.58	0.60	0.61	0.64	0.67	0.69	0.74
C4	0.78	A	75.0	0.58	0.60	0.61	0.64	0.67	0.69	0.74
C5	0.15	A	2.0	0.01	0.01	0.01	0.01	0.04	0.13	0.27
OS2	0.11	A	25.0	0.14	0.15	0.16	0.19	0.24	0.30	0.42



1807 Capitol Avenue
Suite 206
Cheyenne, WY 82001
(307) 514-1012
CivilWorxeng.com



NORTHRIDGE ESTATES DRAINAGE PLAN MAP

WIGGINS, CO

12/13/2023

APPENDIX B – RUNOFF & DRAINAGE CALCULATIONS

- MHFD Rational Workbook
- Hydraulic Toolbox – Pipe Sizing Report
- SWMM Report

Calculation of Peak Runoff using Rational Method

Designer: CMJ Version 2.00 released May 2017 $t_c = \frac{0.395(1.1 - C_p)\sqrt{L_c}}{S^{0.33}}$ Computed $t_c = t_c + t_e$ $t_{\text{minimum}} = 5$ (urban) $t_{\text{minimum}} = 10$ (non-urban) Select UDFCD location for NOAA Atlas 14 Rainfall Depths from the pull-down list OR enter your own depths obtained from the NOAA website (click this link)

Company: CiviWorx Date: 12/13/2023 Cells of this color are for required user-input Cells of this color are for optional override values Cells of this color are for calculated results based on overrides Regional $t_c = (26 - 17i) + \frac{L_c}{60(1.4 + 9\sqrt{S_c})}$ Selected $t_c = \max(t_{\text{minimum}}, \min(\text{Computed } t_c, \text{Regional } t_c))$ 1-hour rainfall depth, P1 (in) = $\frac{a}{b + c}$ Rainfall Intensity Equation Coefficients = $\frac{a}{28.50}$ $\frac{b}{10.00}$ $\frac{c}{0.785}$ $I(\text{in/hr}) = \frac{3 + P_1}{(b + t_c)^2}$ $Q(cfs) = CIA$

Subcatchment Name	Area (ac)	NRCS Hydrologic Soil Group	Percent Imperviousness	Runoff Coefficient, C							Overland (Initial) Flow Time						Channelized (Travel) Flow Time						Time of Concentration			Rainfall Intensity, I (in/hr)							Peak Flow, Q (cfs)						
				2-yr	5-yr	10-yr	25-yr	50-yr	100-yr	500-yr	Overland Flow Length L _s (ft)	U/S Elevation (ft) (Optional)	D/S Elevation (ft) (Optional)	Overland Flow Slope S _o (ft/ft)	Overland Flow Time t _o (min)	Channelized Flow Length L _c (ft)	U/S Elevation (ft) (Optional)	D/S Elevation (ft) (Optional)	Channelized Flow Slope S _c (ft/ft)	NRCS Conveyance Factor K	Channelized Flow Velocity V _c (ft/sec)	Channelized Flow Time t _c (min)	Computed t _c (min)	Regional t _c (min)	Selected t _c (min)	2-yr	5-yr	10-yr	25-yr	50-yr	100-yr	500-yr	2-yr	5-yr	10-yr	25-yr	50-yr	100-yr	500-yr
				2-yr	5-yr	10-yr	25-yr	50-yr	100-yr	500-yr	110.00			0.055	11.80	0.00			0.055	2.5	0.59	0.00	11.80	25.66	11.80	2.34	3.06	3.74	4.83	5.79	6.83	9.61	0.00	0.01	0.01	0.02	0.09	0.33	0.97
EX01	0.38	A	2.0	0.01	0.01	0.01	0.01	0.04	0.13	0.27	110.00			0.055	11.80	0.00			0.055	2.5	0.59	0.00	11.80	25.66	11.80	2.34	3.06	3.74	4.83	5.79	6.83	9.61	0.00	0.01	0.01	0.02	0.09	0.33	0.97
EX02	1.75	A	2.0	0.01	0.01	0.01	0.01	0.04	0.13	0.27	450.00			0.040	26.52	0.00			0.040	2.5	0.50	0.00	26.52	25.66	25.66	1.59	2.08	2.54	3.28	3.93	4.64	6.53	0.01	0.02	0.03	0.06	0.29	1.02	3.05
C1	0.28	A	2.0	0.01	0.01	0.01	0.01	0.04	0.13	0.27	40.00			0.250	4.32	63.00			0.040	15	3.00	0.35	4.67	26.23	10.00	2.50	3.27	4.00	5.17	6.20	7.30	10.28	0.00	0.01	0.01	0.02	0.07	0.26	0.77
OS1	0.43	A	25.0	0.14	0.15	0.16	0.19	0.24	0.30	0.42	25.00			0.020	6.85	40.00			0.020	15	2.12	0.31	7.16	22.13	7.16	2.92	3.69	4.52	5.83	6.99	8.24	11.60	0.17	0.23	0.31	0.47	0.72	1.08	2.07
C2	0.13	A	60.0	0.43	0.45	0.47	0.50	0.54	0.58	0.64	45.00			0.030	5.49	45.00			0.020	20	2.83	0.27	5.75	16.10	5.75	3.02	3.95	4.83	6.23	7.47	8.81	12.40	0.17	0.23	0.29	0.40	0.52	0.66	1.03
C3	0.24	A	75.0	0.58	0.60	0.61	0.64	0.67	0.69	0.74	45.00			0.030	4.24	95.00			0.020	20	2.83	0.56	4.80	13.82	5.00	3.13	4.10	5.02	6.48	7.77	9.16	12.89	0.43	0.59	0.74	0.99	1.24	1.53	2.28
C4	0.78	A	75.0	0.58	0.60	0.61	0.64	0.67	0.69	0.74	45.00			0.030	4.24	294.00			0.020	20	2.83	1.73	5.98	15.03	5.98	2.98	3.91	4.78	6.17	7.39	8.72	12.27	1.34	1.82	2.28	3.08	3.84	4.72	7.06
C5	0.15	A	2.0	0.01	0.01	0.01	0.01	0.04	0.13	0.27	23.00			0.250	3.28	75.00			0.097	15	4.67	0.27	3.54	26.09	10.00	2.50	3.27	4.00	5.17	6.20	7.30	10.28	0.00	0.00	0.00	0.01	0.04	0.14	0.41
OS2	0.11	A	25.0	0.14	0.15	0.16	0.19	0.24	0.30	0.42	55.00			0.020	10.15	0.00			0.020	15	2.12	0.00	10.15	21.75	10.15	2.48	3.25	3.98	5.14	6.16	7.26	10.22	0.04	0.05	0.07	0.11	0.16	0.24	0.47

Hydraulic Analysis Report

Project Data

Project Title: Northridge Pipes

Designer:

Project Date: Monday, December 11, 2023

Project Units: U.S. Customary Units

Notes:

Channel Analysis: PIPE - BASIN C3

Notes:

Input Parameters

Channel Type: Circular

Pipe Diameter 1.50 ft

Longitudinal Slope: 0.0025 ft/ft

Manning's n: 0.0150

Depth 1.5000 ft

Result Parameters

Flow 4.5519 cfs

Area of Flow 1.7671 ft²

Wetted Perimeter 4.7124 ft

Hydraulic Radius 0.3750 ft

Average Velocity 2.5758 ft/s

Top Width 0.0000 ft

Froude Number: 0.0000

Critical Depth 0.8188 ft

Critical Velocity 4.6132 ft/s

Critical Slope: 0.0075 ft/ft

Critical Top Width 1.49 ft

Calculated Max Shear Stress 0.2340 lb/ft²

Calculated Avg Shear Stress 0.0585 lb/ft²

Channel Analysis: PIPE - BASIN C2

Notes:

Input Parameters

Channel Type: Circular

Pipe Diameter 1.50 ft

Longitudinal Slope: 0.0025 ft/ft

Manning's n: 0.0150

Depth 1.5000 ft

Result Parameters

Flow 4.5519 cfs

Area of Flow 1.7671 ft²

Wetted Perimeter 4.7124 ft

Hydraulic Radius 0.3750 ft

Average Velocity 2.5758 ft/s

Top Width 0.0000 ft

Froude Number: 0.0000

Critical Depth 0.8188 ft

Critical Velocity 4.6132 ft/s

Critical Slope: 0.0075 ft/ft

Critical Top Width 1.49 ft

Calculated Max Shear Stress 0.2340 lb/ft²

Calculated Avg Shear Stress 0.0585 lb/ft²

Channel Analysis: PIPE - WEST POND

Notes:

Input Parameters

Channel Type: Circular

Pipe Diameter 1.50 ft

Longitudinal Slope: 0.1000 ft/ft

Manning's n: 0.0150

Depth 1.5000 ft

Result Parameters

Flow 28.7886 cfs

Area of Flow 1.7671 ft²

Wetted Perimeter 4.7124 ft

Hydraulic Radius 0.3750 ft

Average Velocity 16.2910 ft/s

Top Width 0.0000 ft

Froude Number: 0.0000

Critical Depth 1.4923 ft

Critical Velocity 16.3012 ft/s

Critical Slope: 0.0942 ft/ft

Critical Top Width 0.21 ft

Calculated Max Shear Stress 9.3600 lb/ft²

Calculated Avg Shear Stress 2.3400 lb/ft²

Channel Analysis: PIPE - BASIN C4

Notes:

Input Parameters

Channel Type: Circular

Pipe Diameter 1.50 ft

Longitudinal Slope: 0.0100 ft/ft

Manning's n: 0.0150

Depth 1.5000 ft

Result Parameters

Flow 9.1038 cfs

Area of Flow 1.7671 ft²

Wetted Perimeter 4.7124 ft

Hydraulic Radius 0.3750 ft

Average Velocity 5.1517 ft/s

Top Width 0.0000 ft

Froude Number: 0.0000

Critical Depth 1.1667 ft

Critical Velocity 6.1727 ft/s

Critical Slope: 0.0111 ft/ft

Critical Top Width 1.25 ft

Calculated Max Shear Stress 0.9360 lb/ft²

Calculated Avg Shear Stress 0.2340 lb/ft²

EPA STORM WATER MANAGEMENT MODEL - VERSION 5.2 (Build 5.2.2)

 WARNING 01: wet weather time step reduced to recording interval for
 Rain Gage 1

Analysis Options

Flow Units CFS
 Process Models:
 Rainfall/Runoff YES
 RDII NO
 Snowmelt NO
 Groundwater NO
 Flow Routing YES
 Ponding Allowed NO
 Water Quality NO
 Infiltration Method HORTON
 Flow Routing Method DYNWAVE
 Surcharge Method EXTRAN
 Starting Date 05/17/2023 00:00:00
 Ending Date 05/17/2023 06:00:00
 Antecedent Dry Days 0.0
 Report Time Step 00:15:00
 Wet Time Step 00:01:00
 Dry Time Step 01:00:00
 Routing Time Step 20.00 sec
 Variable Time Step YES
 Maximum Trials 8
 Number of Threads 1
 Head Tolerance 0.005000 ft

*****	Volume	Depth
Runoff Quantity Continuity	acre-feet	inches
*****	-----	-----
Total Precipitation	0.567	4.277
Evaporation Loss	0.000	0.000
Infiltration Loss	0.079	0.598
Surface Runoff	0.486	3.665
Final Storage	0.003	0.021
Continuity Error (%)	-0.151	

*****	Volume	Volume
Flow Routing Continuity	acre-feet	10^6 gal
*****	-----	-----
Dry Weather Inflow	0.000	0.000
Wet Weather Inflow	0.483	0.158
Groundwater Inflow	0.000	0.000
RDII Inflow	0.000	0.000
External Inflow	0.000	0.000

External Outflow	0.412	0.134
Flooding Loss	0.000	0.000
Evaporation Loss	0.000	0.000
Exfiltration Loss	0.000	0.000
Initial Stored Volume	0.000	0.000
Final Stored Volume	0.071	0.023
Continuity Error (%)	0.108	

Highest Continuity Errors

Node POND-A-OUTLET (1.02%)

Time-Step Critical Elements

Link OUTFALL-B (66.68%)
Link OUTFALL-A (33.02%)

Highest Flow Instability Indexes

All links are stable.

Most Frequent Nonconverging Nodes

Convergence obtained at all time steps.

Routing Time Step Summary

Minimum Time Step	:	1.04 sec
Average Time Step	:	2.11 sec
Maximum Time Step	:	20.00 sec
% of Time in Steady State	:	0.00
Average Iterations per Step	:	2.00
% of Steps Not Converging	:	0.00
Time Step Frequencies	:	
20.000 - 9.564 sec	:	0.29 %
9.564 - 4.573 sec	:	0.30 %
4.573 - 2.187 sec	:	38.85 %
2.187 - 1.046 sec	:	58.82 %
1.046 - 0.500 sec	:	1.74 %

Subcatchment Runoff Summary

Imperv	Perv	Total Total Runoff in	Total Precip in 10^6 gal	Total Runon Runoff in CFS	Peak Runoff in	Total Runoff Evap Coeff in	Total Infil in
C3		3.19	4.28	0.00	0.00	0.30	
	0.77			0.03	1.65	0.925	
C2		2.56	4.28	0.00	0.00	0.49	
	1.22			0.01	0.82	0.884	
C4		3.19	4.28	0.00	0.00	0.32	
	0.75			0.09	5.10	0.920	
C1		0.09	4.28	0.00	0.00	1.26	
	2.93			0.02	1.19	0.706	
C5		0.09	4.28	0.00	0.00	1.56	
	2.63			0.01	0.40	0.635	

Node Depth Summary

Reported Max Depth Node Feet	Type	Average Depth Feet	Maximum Depth Feet	Maximum HGL Feet	Time of Max Occurrence days hr:min
A2 0.21	JUNCTION	0.04	0.23	4557.34	0 00:10
A1 0.14	JUNCTION	0.02	0.14	4559.45	0 00:11
CURB-CUT 0.00	JUNCTION	0.00	0.00	4550.33	0 00:00
9 0.46	JUNCTION	0.10	0.49	4555.11	0 00:10
10 0.40	JUNCTION	0.15	0.46	4554.84	0 00:09
FES-B 0.32	JUNCTION	0.12	0.34	4543.34	0 00:31
POND-A-OUTLET 0.12	JUNCTION	0.11	0.12	4552.42	0 01:08
OUTFALL-POND-B 0.31	OUTFALL	0.12	0.34	4542.34	0 00:31

0.12	OUTFALL-POND-A	OUTFALL	0.11	0.12	4551.92	0	01:08
2.55	POND-B	STORAGE	1.26	2.55	4546.43	0	00:31
1.89	POND-A	STORAGE	1.40	1.91	4554.77	0	01:05
3.15	POND-B2	STORAGE	2.10	3.20	4549.20	0	00:24

Node Inflow Summary

Lateral		Total	Flow	Maximum	Maximum	Time of Max	
Inflow	Inflow	Balance	Lateral	Total	Inflow	Inflow	Occurrence
Volume	Volume	Error	Inflow	Inflow	CFS	CFS	days hr:min
Node	10^6 gal	Type					10^6
gal	10^6 gal	Percent					
A2	0.0256	JUNCTION	1.65	1.65	0	00:09	
		-0.048					
A1	0.0133	JUNCTION	0.82	0.82	0	00:10	
		-0.060					
CURB-CUT	0	JUNCTION	0.00	0.00	0	00:00	
		0.000 gal					
9	0	JUNCTION	0.00	1.64	0	00:10	
		-0.020					
10	0.0257	JUNCTION	0.00	2.46	0	00:10	
		-0.135					
FES-B	0.0393	JUNCTION	0.00	4.12	0	00:31	
		0.009					
POND-A-OUTLET	0.0911	JUNCTION	0.00	0.34	0	01:05	
		1.033					
OUTFALL-POND-B	0.0436	OUTFALL	0.00	4.12	0	00:31	
		0.000					
OUTFALL-POND-A	0.0911	OUTFALL	0.00	0.34	0	01:08	
		0.000					
POND-B	0.0431	STORAGE	0.40	4.24	0	00:25	
		0.027					
POND-A	0.00958	STORAGE	1.19	3.48	0	00:13	
		0.839					
POND-B2	0.0229	STORAGE	5.10	5.10	0	00:12	
		0.223					
	0.0622						
	0.0861						

Node Surcharge Summary

Surcharging occurs when water rises above the top of the highest conduit.

Node	Type	Hours Surcharged	Max. Height Above Crown Feet	Min. Depth Below Rim Feet
CURB-CUT	JUNCTION	6.00	0.000	0.000

Node Flooding Summary

No nodes were flooded.

Storage Volume Summary

Time of Max Occurrence	Maximum Storage Unit	Average Volume	Avg Pcnt Full	Evap Loss	Exfil Loss	Maximum Volume	Max Pcnt Full
days hr:min	Outflow CFS	1000 ft ³	Full	Loss	Loss	1000 ft ³	Full
0 00:31	4.12	1.270	3.3	0.0	0.0	2.958	7.7
0 01:05	0.42	4.850	1.8	0.0	0.0	7.068	2.7
0 00:24	3.88	0.899	21.9	0.0	0.0	2.118	51.6

Outfall Loading Summary

Outfall Node	Flow Freq Pcnt	Avg Flow CFS	Max Flow CFS	Total Volume 10 ⁶ gal
OUTFALL-POND-B	95.37	0.94	4.12	0.091
OUTFALL-POND-A	99.59	0.28	0.34	0.043
System	97.48	1.22	4.37	0.134

 Link Flow Summary

Max/ Full Link Depth	Type	Maximum Flow CFS	Time of Max Occurrence days hr:min	Maximum Veloc ft/sec	Max/ Full Flow
0.32	PA1-A2 CONDUIT	1.65	0 00:10	3.62	0.24
0.64	P-A2-POND CONDUIT	2.49	0 00:10	9.60	0.17
0.17	OUTFALL-B CONDUIT	4.12	0 00:31	11.67	0.06
0.12	OVERFLOW_POND-A CONDUIT	0.00	0 00:00	0.00	0.00
0.06	OUTFALL-A CONDUIT	0.34	0 01:08	4.33	0.01
0.50	OVERFLOW-PONDB2 CONDUIT	0.00	0 00:00	0.00	0.00
0.39	OVERFLOW-PONDB CONDUIT	3.43	0 00:31	1.47	0.02
0.45	INLET_A2 ORIFICE	1.64	0 00:10		
0.28	INLET_A1 ORIFICE	0.81	0 00:11		
1.00	ORIFICE-POND-A-OUTLET ORIFICE	0.34	0 01:05		
1.00	P-PONDB2-POND-B ORIFICE	3.88	0 00:24		
1.00	ORIFICE-POND-B ORIFICE	0.69	0 00:31		

 Flow Classification Summary

Class	Adjusted /Actual Length	Fraction of Time in Flow						
		Up Dry	Down Dry	Sub Dry	Sup Crit	Up Crit	Down Crit	
Norm Inlet								
Conduit								
Ltd Ctrl								

```

-----
-----
PA1-A2          1.00  0.01  0.00  0.00  0.85  0.14  0.00  0.00
0.28  0.00
P-A2-POND      1.00  0.01  0.00  0.00  0.95  0.03  0.00  0.00
0.68  0.00
OUTFALL-B      1.00  0.02  0.00  0.00  0.01  0.97  0.00  0.00
0.38  0.00
OVERFLOW_POND-A 1.00  0.02  0.98  0.00  0.00  0.00  0.00  0.00
0.00  0.00
OUTFALL-A      1.00  0.02  0.00  0.00  0.01  0.98  0.00  0.00
0.62  0.00
OVERFLOW-PONDB2 1.00  0.01  0.99  0.00  0.00  0.00  0.00  0.00
0.00  0.00
OVERFLOW-PONDB 1.00  0.02  0.85  0.00  0.13  0.00  0.00  0.00
0.92  0.00

```

```

*****
Conduit Surcharge Summary
*****

```

```

-----
-----
Hours
Hours
Capacity
Conduit
Limited
-----
P-A2-POND          0.01    0.01    2.14    0.01
0.01

```

```

Analysis begun on: Wed Dec 13 14:20:34 2023
Analysis ended on: Wed Dec 13 14:20:34 2023
Total elapsed time: < 1 sec

```

APPENDIX C – GEOTECHNICAL INFORMATION

- NRCS Soils Report

Morgan County, Colorado

BIA—Bijou loamy sand, 0 to 1 percent slopes

Map Unit Setting

National map unit symbol: 3pvt

Elevation: 4,400 to 6,000 feet

Mean annual precipitation: 14 inches

Mean annual air temperature: 46 to 52 degrees F

Frost-free period: 140 to 180 days

Farmland classification: Farmland of statewide importance

Map Unit Composition

Bijou and similar soils: 90 percent

Minor components: 10 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Bijou

Setting

Landform: Stream terraces

Down-slope shape: Linear

Across-slope shape: Linear

Parent material: Noncalcareous alluvium derived from arkose

Typical profile

H1 - 0 to 15 inches: loamy sand

H2 - 15 to 52 inches: coarse sandy loam

H3 - 52 to 60 inches: loamy coarse sand

Properties and qualities

Slope: 0 to 1 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Well drained

Runoff class: Very low

Capacity of the most limiting layer to transmit water (Ksat): High
(2.00 to 6.00 in/hr)

Depth to water table: More than 80 inches

Frequency of flooding: None

Frequency of ponding: None

Calcium carbonate, maximum content: 5 percent

Available water supply, 0 to 60 inches: Low (about 5.6 inches)

Interpretive groups

Land capability classification (irrigated): 3e

Land capability classification (nonirrigated): 4e

Hydrologic Soil Group: A

Ecological site: R067BY024CO - Sandy Plains

Hydric soil rating: No

Minor Components

Altvan

Percent of map unit: 6 percent

Hydric soil rating: No

Bankard

Percent of map unit: 4 percent

Hydric soil rating: No

Data Source Information

Soil Survey Area: Morgan County, Colorado

Survey Area Data: Version 24, Aug 24, 2023

Morgan County, Colorado

VcD—Valent sand, 3 to 9 percent slopes

Map Unit Setting

National map unit symbol: 2tczf
Elevation: 3,050 to 5,150 feet
Mean annual precipitation: 12 to 18 inches
Mean annual air temperature: 48 to 55 degrees F
Frost-free period: 130 to 180 days
Farmland classification: Not prime farmland

Map Unit Composition

Valent and similar soils: 80 percent
Minor components: 20 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Valent

Setting

Landform: Dunes, hills
Landform position (two-dimensional): Summit, shoulder, backslope, footslope
Landform position (three-dimensional): Side slope, crest, head slope, nose slope
Down-slope shape: Convex, linear
Across-slope shape: Convex, linear
Parent material: Noncalcareous eolian sands

Typical profile

A - 0 to 5 inches: sand
AC - 5 to 12 inches: sand
C1 - 12 to 30 inches: sand
C2 - 30 to 80 inches: sand

Properties and qualities

Slope: 3 to 9 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Excessively drained
Runoff class: Very low
Capacity of the most limiting layer to transmit water (Ksat): High to very high (6.00 to 39.96 in/hr)
Depth to water table: More than 80 inches
Frequency of flooding: None
Frequency of ponding: None
Calcium carbonate, maximum content: 1 percent
Maximum salinity: Nonsaline (0.0 to 1.9 mmhos/cm)
Available water supply, 0 to 60 inches: Very low (about 2.4 inches)

Interpretive groups

Land capability classification (irrigated): 4e

Land capability classification (nonirrigated): 6e
Hydrologic Soil Group: A
Ecological site: R067BY015CO - Deep Sand, R072XY109KS -
Rolling Sands
Hydric soil rating: No

Minor Components

Dailey

Percent of map unit: 10 percent
Landform: Interdunes
Landform position (two-dimensional): Footslope, toeslope
Landform position (three-dimensional): Base slope
Down-slope shape: Linear
Across-slope shape: Concave
Ecological site: R067BY015CO - Deep Sand, R072XA021KS -
Sands (North) (PE 16-20)
Hydric soil rating: No

Vona

Percent of map unit: 5 percent
Landform: Hills
Landform position (two-dimensional): Shoulder, backslope,
footslope
Landform position (three-dimensional): Head slope, nose slope,
side slope, base slope
Down-slope shape: Linear
Across-slope shape: Linear
Ecological site: R072XA022KS - Sandy (North) Draft (April 2010)
(PE 16-20), R067BY024CO - Sandy Plains
Hydric soil rating: No

Haxtun

Percent of map unit: 5 percent
Landform: Interdunes
Landform position (two-dimensional): Footslope, toeslope
Landform position (three-dimensional): Base slope
Down-slope shape: Linear
Across-slope shape: Concave
Ecological site: R067BY024CO - Sandy Plains, R072XY111KS -
Sandy Plains
Hydric soil rating: No

Data Source Information

Soil Survey Area: Morgan County, Colorado
Survey Area Data: Version 24, Aug 24, 2023

Morgan County, Colorado

Ve—Valent-Dwyer sands, terrace, 0 to 3 percent slopes

Map Unit Setting

National map unit symbol: 2yvr7
Elevation: 4,100 to 4,800 feet
Mean annual precipitation: 12 to 17 inches
Mean annual air temperature: 46 to 52 degrees F
Frost-free period: 130 to 155 days
Farmland classification: Not prime farmland

Map Unit Composition

Valent and similar soils: 45 percent
Dwyer and similar soils: 44 percent
Minor components: 11 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Valent

Setting

Landform: Sand sheets on stream terraces
Landform position (three-dimensional): Tread
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Wind-reworked, noncalcareous sandy alluvium

Typical profile

Ap - 0 to 4 inches: sand
C - 4 to 80 inches: sand

Properties and qualities

Slope: 0 to 3 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Excessively drained
Runoff class: Negligible
Capacity of the most limiting layer to transmit water (Ksat): High to very high (6.00 to 39.96 in/hr)
Depth to water table: More than 80 inches
Frequency of flooding: None
Frequency of ponding: None
Calcium carbonate, maximum content: 1 percent
Maximum salinity: Nonsaline to very slightly saline (0.0 to 2.0 mmhos/cm)
Available water supply, 0 to 60 inches: Very low (about 2.4 inches)

Interpretive groups

Land capability classification (irrigated): 4e
Land capability classification (nonirrigated): 7s
Hydrologic Soil Group: A
Ecological site: R067BY015CO - Deep Sand

Hydric soil rating: No

Description of Dwyer

Setting

Landform: Sand sheets on stream terraces
Landform position (three-dimensional): Tread
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Wind-reworked, calcareous sandy alluvium

Typical profile

Ap - 0 to 4 inches: sand
C - 4 to 80 inches: sand

Properties and qualities

Slope: 0 to 3 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Excessively drained
Runoff class: Negligible
Capacity of the most limiting layer to transmit water (Ksat): High to very high (6.00 to 39.96 in/hr)
Depth to water table: More than 80 inches
Frequency of flooding: None
Frequency of ponding: None
Calcium carbonate, maximum content: 10 percent
Maximum salinity: Nonsaline to very slightly saline (0.0 to 2.0 mmhos/cm)
Available water supply, 0 to 60 inches: Very low (about 2.4 inches)

Interpretive groups

Land capability classification (irrigated): 4e
Land capability classification (nonirrigated): 7s
Hydrologic Soil Group: A
Ecological site: R067BY015CO - Deep Sand
Hydric soil rating: No

Minor Components

Vona

Percent of map unit: 6 percent
Landform: Stream terraces
Landform position (three-dimensional): Tread
Down-slope shape: Linear
Across-slope shape: Linear
Ecological site: R067BY015CO - Deep Sand
Hydric soil rating: No

Olneft

Percent of map unit: 5 percent
Landform: Stream terraces
Landform position (three-dimensional): Tread
Down-slope shape: Linear
Across-slope shape: Linear

Ecological site: R067BY024CO - Sandy Plains
Hydric soil rating: No

Data Source Information

Soil Survey Area: Morgan County, Colorado
Survey Area Data: Version 24, Aug 24, 2023

DATE: 02/09/2024
TO: Hope Becker, Town of Wiggins
FROM: David Hach, Miller & Associates
RE: Review of North Ridge Estates Development Application – 2nd Submittal

Dear Mrs. Becker,

I have conducted the engineering review for the second submittal of the North Ridge Estates proposed development, including review of the drainage report, site plan, and the grading and drainage plan. The submittal has addressed all comments included in the preliminary review letter dated 12/29/23.

The utility plan and drainage report are conditionally approved pending the acquisition of land northeast of the property for detention/retention pond B northeast of the property via easement, purchase, or other perpetual agreement.

Sincerely,

David Hach

February 15, 2024

Hope Becker

Planning and Zoning Administrator
Town of Wiggins
304 East Central Avenue
Wiggins, CO 80654

RE: Northridge Estates – Traffic Permit

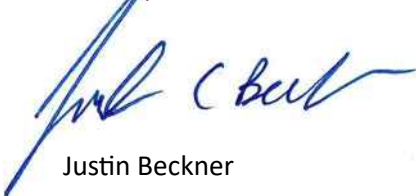
Dear Ms. Becker,

CivilWorx has received traffic counts for the Main Street and Central Avenue intersection from All Traffic Data Services and is working on an abbreviated traffic study for the development based on the data received.

After a preliminary look at the traffic counts and a rough comparison to the projected trips generated by the site, we foresee very little impact on traffic volumes. Additional traffic generated from the site will be from twenty-four (24) residential units and is very unlikely to exceed the 20% threshold for roadway improvements by CDOT.

With this being the case, this project is not likely to require anything more than the baseline permit that will not require any additional improvements. We will continue working on the traffic study and get a full stamped report over to you and CDOT as soon as it is completed.

Thank you,



Justin Beckner

CivilWorx, LLC



(303) 216-2439
www.alltrafficdata.net

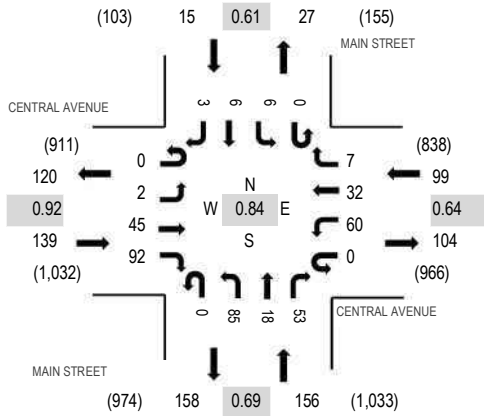
Location: 1 MAIN STREET & CENTRAL AVENUE AM

Date: Tuesday, February 6, 2024

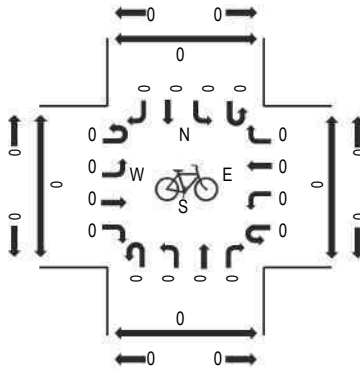
Peak Hour: 03:15 PM - 04:15 PM

Peak 15-Minutes: 03:30 PM - 03:45 PM

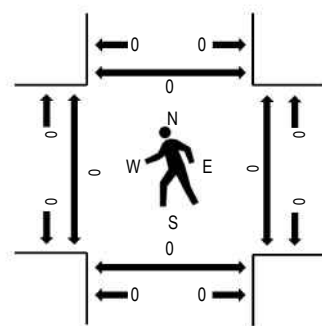
Peak Hour - Motorized Vehicles



Peak Hour - Bicycles



Peak Hour - Pedestrians



Note: Total study counts contained in parentheses.

Traffic Counts - Motorized Vehicles

Interval Start Time	CENTRAL AVENUE Eastbound				CENTRAL AVENUE Westbound				MAIN STREET Northbound				MAIN STREET Southbound				Total	Rolling Hour	Pedestrian Crossings			
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right			West	East	South	North
6:00 AM	0	0	4	0	0	1	1	0	0	5	0	3	0	0	0	0	14	132	0	0	0	0
6:15 AM	0	0	3	1	0	8	4	0	0	5	0	5	0	0	1	0	27	158	0	0	0	0
6:30 AM	0	0	5	2	0	4	9	1	0	12	1	8	0	0	0	0	42	228	0	0	0	0
6:45 AM	0	0	9	4	0	5	5	1	0	10	1	14	0	0	0	0	49	336	1	0	0	0
7:00 AM	0	0	1	3	0	9	8	0	0	8	0	10	0	1	0	0	40	405	0	0	0	0
7:15 AM	0	0	9	12	0	17	6	1	0	16	1	34	0	0	0	1	97	403	0	0	0	0
7:30 AM	0	0	12	28	0	35	8	0	0	20	1	38	0	0	7	1	150	345	1	0	0	0
7:45 AM	0	3	8	7	0	13	11	2	0	31	6	35	0	1	1	0	118	240	0	0	0	0
8:00 AM	0	1	2	4	0	4	9	0	0	7	5	3	0	1	2	0	38	160	0	0	0	0
8:15 AM	1	0	11	2	0	8	7	0	0	6	0	3	0	0	0	1	39	165	0	0	0	0
8:30 AM	0	1	12	5	0	5	5	1	0	6	1	6	0	1	2	0	45	158	0	0	0	0
8:45 AM	0	0	5	4	0	6	7	0	0	5	0	10	0	0	1	0	38	152	0	0	0	0
9:00 AM	0	0	7	4	0	6	6	1	0	8	1	6	0	3	1	0	43	162	0	0	0	0
9:15 AM	0	0	11	3	0	3	6	2	0	3	0	3	0	0	1	0	32	163	0	0	0	0
9:30 AM	0	0	8	6	0	2	9	0	0	8	0	6	0	0	0	0	39	181	0	0	0	0
9:45 AM	0	1	15	8	0	4	10	1	0	4	0	4	0	0	0	1	48	193	1	0	0	0
10:00 AM	0	0	8	8	0	4	8	1	0	11	0	3	0	1	0	0	44	189	0	0	0	0
10:15 AM	0	0	14	8	0	5	8	1	1	9	0	3	0	1	0	0	50	210	0	0	0	0
10:30 AM	0	3	6	5	0	6	14	2	0	5	1	5	0	2	1	1	51	204	0	0	0	0
10:45 AM	0	0	18	6	0	4	2	0	0	6	3	2	0	1	2	0	44	201	0	0	0	0
11:00 AM	0	0	9	10	0	6	10	1	0	16	1	8	0	1	2	1	65	221	0	0	0	0
11:15 AM	0	1	12	10	0	6	3	1	0	5	1	4	0	0	1	0	44	228	0	0	0	0
11:30 AM	0	1	10	8	0	6	4	0	0	8	1	7	0	2	1	0	48	237	0	0	7	0
11:45 AM	0	1	15	9	0	9	4	0	0	9	5	11	0	1	0	0	64	231	0	0	0	0
12:00 PM	0	0	12	12	0	11	10	1	0	10	1	11	0	3	1	0	72	224	0	0	0	0
12:15 PM	0	0	9	9	0	7	8	0	0	9	2	8	0	0	0	1	53	196	0	0	0	0
12:30 PM	0	2	10	7	0	5	8	0	0	6	1	3	0	0	0	0	42	187	0	0	0	0
12:45 PM	0	0	8	9	0	6	8	2	0	8	5	9	0	0	2	0	57	198	0	0	2	0
1:00 PM	0	1	10	5	0	10	0	0	0	7	3	6	0	1	1	0	44	171	0	0	0	0
1:15 PM	0	0	5	5	0	11	9	0	0	8	3	2	0	1	0	0	44	160	1	0	0	0
1:30 PM	0	0	8	8	0	2	8	0	0	11	4	9	0	2	1	0	53	182	0	0	0	0
1:45 PM	0	0	4	4	0	1	4	1	0	7	1	8	0	0	0	0	30	190	0	0	0	0
2:00 PM	0	0	7	5	0	5	5	0	0	6	0	4	0	0	1	0	33	222	0	0	0	0
2:15 PM	0	0	14	8	0	10	12	4	0	5	1	10	0	1	1	0	66	254	1	0	0	0

000073

2:30 PM	0	1	9	11	0	6	15	0	0	6	2	9	0	1	1	0	61	279	0	0	0	0
2:45 PM	0	1	15	10	0	11	6	0	0	5	2	9	0	1	2	0	62	340	0	0	1	0
3:00 PM	0	2	13	12	0	12	5	1	0	8	1	7	0	1	2	1	65	387	0	0	1	0
3:15 PM	0	0	7	24	0	23	14	2	0	8	1	5	0	2	4	1	91	409	0	0	0	0
3:30 PM	0	1	11	28	0	12	7	2	0	33	6	21	0	0	1	0	122	400	0	0	0	0
3:45 PM	0	1	15	16	0	11	3	3	0	29	7	19	0	4	0	1	109	366	0	0	0	0
4:00 PM	0	0	12	24	0	14	8	0	0	15	4	8	0	0	1	1	87	330	0	0	0	0
4:15 PM	0	0	16	23	0	5	8	2	0	16	2	9	0	0	1	0	82	340	0	0	0	0
4:30 PM	0	1	18	21	0	13	10	0	0	15	1	8	0	0	1	0	88	329	0	0	0	0
4:45 PM	0	3	8	21	0	4	13	1	0	13	0	7	0	0	3	0	73	290	0	0	0	0
5:00 PM	0	1	14	17	0	10	13	3	0	13	3	17	0	1	5	0	97	281	0	0	1	0
5:15 PM	0	2	10	16	0	5	17	1	0	7	1	9	0	2	0	1	71	223	2	0	0	0
5:30 PM	0	1	7	14	0	6	8	1	0	7	2	2	0	1	0	0	49	174	2	0	0	0
5:45 PM	0	0	15	14	0	8	10	0	0	8	0	7	0	0	1	1	64	154	0	0	0	0
6:00 PM	0	0	4	14	0	6	4	0	0	7	0	4	0	0	0	0	39	122	0	0	0	0
6:15 PM	0	0	2	8	0	4	4	0	0	3	1	0	0	0	0	0	22		0	0	0	0
6:30 PM	0	1	4	8	0	3	6	0	0	5	1	1	0	0	0	0	29		0	0	0	0
6:45 PM	0	1	3	6	0	7	7	0	0	5	0	2	0	0	1	0	32		0	0	0	0
Count Total	1	31	484	516	0	404	394	40	1	503	84	445	0	37	53	13	3,006		9	0	12	0
Peak Hour	0	2	45	92	0	60	32	7	0	85	18	53	0	6	6	3	409		0	0	0	0



(303) 216-2439
www.alltrafficdata.net

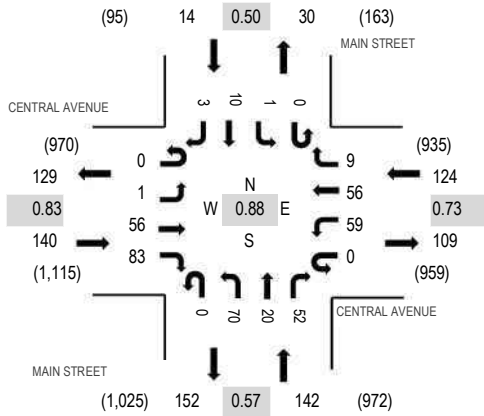
Location: 1 MAIN STREET & CENTRAL AVENUE AM

Date: Wednesday, February 7, 2024

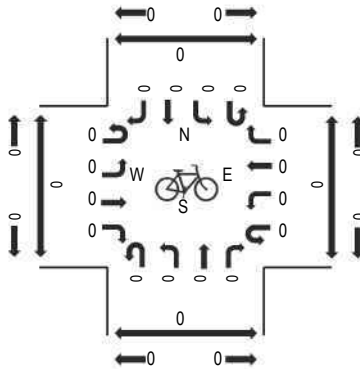
Peak Hour: 03:15 PM - 04:15 PM

Peak 15-Minutes: 03:45 PM - 04:00 PM

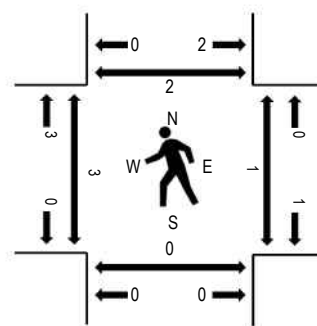
Peak Hour - Motorized Vehicles



Peak Hour - Bicycles



Peak Hour - Pedestrians



Note: Total study counts contained in parentheses.

Traffic Counts - Motorized Vehicles

Interval Start Time	CENTRAL AVENUE Eastbound				CENTRAL AVENUE Westbound				MAIN STREET Northbound				MAIN STREET Southbound				Total	Rolling Hour	Pedestrian Crossings			
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right			West	East	South	North
6:00 AM	0	0	2	2	0	1	3	0	0	8	0	4	0	0	0	0	20	98	0	0	0	0
6:15 AM	0	0	6	0	0	2	3	0	0	8	0	2	0	0	1	0	22	120	0	0	0	0
6:30 AM	0	0	3	1	0	1	10	0	0	6	0	2	0	0	0	0	23	180	0	0	0	0
6:45 AM	0	1	9	2	0	5	5	0	0	6	0	4	0	0	0	1	33	295	0	0	0	0
7:00 AM	0	1	6	8	0	6	7	0	0	11	0	2	0	1	0	0	42	385	1	0	2	0
7:15 AM	0	0	12	11	0	26	6	0	0	12	0	13	0	0	2	0	82	389	1	0	2	0
7:30 AM	0	0	10	23	0	40	8	2	0	15	4	29	0	0	6	1	138	360	1	0	0	0
7:45 AM	0	3	10	17	0	7	14	1	0	32	4	32	0	1	2	0	123	276	0	0	0	0
8:00 AM	0	2	11	2	0	8	8	0	0	7	0	7	0	0	1	0	46	197	0	0	0	0
8:15 AM	0	0	5	10	0	5	10	2	0	9	1	8	0	3	0	0	53	185	0	0	0	0
8:30 AM	0	1	9	10	0	5	12	1	0	10	0	3	0	3	0	0	54	179	0	0	0	0
8:45 AM	0	0	9	7	0	4	4	0	0	10	0	7	0	0	3	0	44	176	0	1	1	0
9:00 AM	0	0	11	2	0	2	8	1	0	3	0	6	0	0	1	0	34	175	0	0	0	0
9:15 AM	0	0	13	6	0	6	4	1	0	6	2	4	0	1	3	1	47	187	0	0	0	0
9:30 AM	0	0	16	4	0	5	10	1	0	6	1	7	0	0	1	0	51	175	0	0	0	0
9:45 AM	0	2	12	8	0	4	5	0	0	6	1	4	0	1	0	0	43	169	1	0	0	1
10:00 AM	0	0	9	7	0	5	9	2	0	9	0	5	0	0	0	0	46	182	0	0	0	0
10:15 AM	0	1	13	3	0	5	4	0	0	5	0	4	0	0	0	0	35	184	0	0	0	0
10:30 AM	0	1	8	10	0	6	8	0	0	8	1	3	0	0	0	0	45	195	0	0	0	0
10:45 AM	0	0	11	12	0	8	10	0	0	3	2	8	0	0	2	0	56	215	0	0	0	0
11:00 AM	0	0	8	6	0	6	12	0	0	5	3	7	0	0	1	0	48	220	0	0	0	0
11:15 AM	0	1	8	7	0	4	11	2	0	4	3	5	0	0	1	0	46	235	0	0	0	0
11:30 AM	0	0	15	9	0	7	14	2	0	7	2	3	0	4	1	1	65	252	0	0	0	0
11:45 AM	0	3	6	9	0	5	14	1	0	11	3	7	0	2	0	0	61	243	0	2	0	0
12:00 PM	0	2	11	13	0	7	8	1	0	11	2	5	0	1	2	0	63	233	0	0	0	0
12:15 PM	0	0	15	11	0	3	14	3	0	6	2	8	0	0	0	1	63	246	0	0	0	0
12:30 PM	0	1	10	14	0	3	10	0	0	1	8	8	0	0	1	0	56	227	0	0	0	0
12:45 PM	0	2	6	3	0	5	13	1	0	7	2	7	0	1	3	1	51	224	1	0	0	0
1:00 PM	0	1	18	8	0	10	11	0	0	16	1	8	0	1	2	0	76	227	0	0	0	0
1:15 PM	0	1	13	6	0	5	8	0	0	5	0	5	0	0	0	1	44	205	0	0	0	0
1:30 PM	0	1	8	13	0	5	8	3	0	9	2	4	0	0	0	0	53	198	0	0	0	0
1:45 PM	0	0	10	10	0	7	8	0	0	12	1	4	0	1	1	0	54	203	0	0	0	0
2:00 PM	0	0	16	9	0	2	7	1	0	10	4	3	0	0	1	1	54	219	0	0	0	0
2:15 PM	0	0	6	9	0	3	7	1	0	6	1	3	0	0	1	0	37	230	0	0	0	0

2:30 PM	0	0	15	11	0	9	12	1	0	5	0	5	0	0	0	58	298	0	0	0	0	
2:45 PM	0	0	12	16	0	11	10	1	0	10	2	7	0	1	0	70	350	0	0	0	0	
3:00 PM	0	1	15	10	0	12	11	3	0	6	4	2	0	0	1	65	399	0	0	0	0	
3:15 PM	0	0	16	26	0	24	15	5	0	7	2	5	0	1	4	105	420	0	0	0	0	
3:30 PM	0	0	15	21	0	8	15	2	0	27	3	17	0	0	0	2	110	405	2	0	0	1
3:45 PM	0	0	16	17	0	19	12	2	0	20	8	22	0	0	2	1	119	369	1	1	0	1
4:00 PM	0	1	9	19	0	8	14	0	0	16	7	8	0	0	4	0	86	324	0	0	0	0
4:15 PM	0	2	18	18	0	12	13	1	0	13	1	10	0	0	2	0	90	314	0	0	0	0
4:30 PM	0	1	14	20	0	9	9	0	0	10	1	9	0	0	0	1	74	295	0	0	0	0
4:45 PM	0	0	14	16	0	17	9	0	0	7	0	8	0	1	0	2	74	288	0	0	0	0
5:00 PM	0	0	8	13	0	10	8	1	0	17	2	14	0	1	2	0	76	273	0	0	0	0
5:15 PM	0	0	7	24	0	13	9	2	0	7	0	9	0	0	0	0	71	255	0	0	0	0
5:30 PM	0	0	12	16	0	6	7	0	0	12	3	9	0	0	1	1	67	238	0	0	0	0
5:45 PM	0	0	8	17	0	8	9	1	0	8	0	7	0	1	0	0	59	226	0	0	0	0
6:00 PM	0	0	2	15	0	15	10	0	0	7	0	8	0	1	0	0	58	185	0	0	0	0
6:15 PM	0	1	4	10	0	4	5	1	0	12	0	16	0	0	1	0	54		0	0	0	0
6:30 PM	0	1	7	9	0	5	10	0	0	6	1	15	0	1	0	0	55		0	0	0	0
6:45 PM	0	0	1	6	0	3	1	1	0	3	1	2	0	0	0	0	18		0	0	0	0
Count Total	0	31	528	556	0	416	472	47	0	483	85	404	0	27	53	15	3,117		8	4	5	3
Peak Hour	0	1	56	83	0	59	56	9	0	70	20	52	0	1	10	3	420		3	1	0	2

OFFICE OF THE SECRETARY OF STATE
OF THE STATE OF COLORADO

CERTIFICATE OF FACT OF GOOD STANDING

I, Jena Griswold, as the Secretary of State of the State of Colorado, hereby certify that, according to the records of this office,

North Ridge Community LLC

is a

Limited Liability Company

formed or registered on 02/05/2024 under the law of Colorado, has complied with all applicable requirements of this office, and is in good standing with this office. This entity has been assigned entity identification number 20241158782 .

This certificate reflects facts established or disclosed by documents delivered to this office on paper through 02/02/2024 that have been posted, and by documents delivered to this office electronically through 02/05/2024 @ 15:28:34 .

I have affixed hereto the Great Seal of the State of Colorado and duly generated, executed, and issued this official certificate at Denver, Colorado on 02/05/2024 @ 15:28:34 in accordance with applicable law. This certificate is assigned Confirmation Number 15724755 .



A handwritten signature in blue ink that reads "Jena Griswold".

Secretary of State of the State of Colorado

*****End of Certificate*****

Notice: A certificate issued electronically from the Colorado Secretary of State's website is fully and immediately valid and effective. However, as an option, the issuance and validity of a certificate obtained electronically may be established by visiting the Validate a Certificate page of the Secretary of State's website, <https://www.coloradosos.gov/biz/CertificateSearchCriteria.do> entering the certificate's confirmation number displayed on the certificate, and following the instructions displayed. Confirming the issuance of a certificate is merely optional and is not necessary to the valid and effective issuance of a certificate. For more information, visit our website, <https://www.coloradosos.gov> click "Businesses, trademarks, trade names" and select "Frequently Asked Questions."