



**TOWN OF WIGGINS
AGENDA
BOARD OF ADJUSTMENT MEETING
January 26, 2022 at 6:30 P.M.**

**304 CENTRAL AVENUE
WIGGINS, CO 80654**

***NOTE: DUE TO LIMITED SEATING CAPACITY, THE PUBLIC IS HIGHLY
ENCOURAGED TO ATTEND THE MEETING VIA ZOOM***

GO TO <https://us06web.zoom.us/j/89138082108> FOR THE MEETING LINK

I. INTRODUCTIONS

1. Call the Meeting to Order
2. Roll Call
3. Approval of the Agenda Items
4. Approval of the Minutes from the previous meeting held on April 14, 2021

II. PUBLIC HEARING (*Public Comment will be taken during the hearing*)

1. Review and consideration of a Variance Application submitted by Brian and Hope Becker for the purpose of adjusting a setback requirement for a garage addition on the single-family property located at 475 4th Avenue.
 - a. BOA RESOLUTION 01-2022 - A Resolution Approving an Application for a Variance Adjusting the Required Setback from Karen Street to 15-foot for the Single-Family Property Located at 475 E. 4th Avenue, Wiggins, Colorado

III. ADJOURNMENT:

1. Closing Remarks by Chairman and Adjournment of the Meeting.



MINUTES OF MEETING

**TOWN OF WIGGINS
BOARD OF ADJUSTMENT**
April 14, 2021 at 7:00 p.m.

CALL TO ORDER & ROLL CALL

A regular meeting of the Board of Adjustment for the Town of Wiggins, Colorado was held on Wednesday, April 14, 2021 via Zoom. Chairman Jeffrey Palmer called the meeting to order at 6:33 p.m. The following Board of Adjustment Members answered roll call: Chairman Jeff Palmer, Board of Adjustment Members David Herbstman, Bruce Miller, Mark Strickland, Bryan Flax, and Jerry Schwindt. Member Pat Musgrave arrived after the meeting was underway. Staff present were Town Manager, Tom Acre; Town Clerk, Deb Lee; and Planning and Zoning Administrator, Hope Becker.

APPROVAL OF AGENDA

Motion was made by Adjustor Bruce Miller to approve the agenda as written. Second was made by Adjustor David Herbstman. Roll Call: Unanimously approved.

APPROVAL OF MINUTES FROM AUGUST 26, 2020

Motion was made by Adjustor Mark Strickland to approve the minutes from August 26, 2020. Second was made by Adjustor Jerry Schwindt. Roll Call: Unanimously approved.

PUBLIC HEARING – Consideration of a Variance Application Submitted by DBSI, Inc. on Behalf of High Plains Bank for the Purpose of Adjusting a Setback Requirement for the Property Located at 401 Central Avenue

The Public Hearing was opened by Chairman Jeffrey Palmer. The Town Clerk stated proper notifications were made. No disclosures to the Board were made.

Planning and Zoning Administrator Hope Becker provided the staff summary and information to the Board of Adjustment Members regarding the request for a setback variance. High Plains Bank requested a zero lot-line setback at the southwest corner of their property where the drive would exit on to Central Avenue.

The bank would like to create a drive through to accommodate customer services. The plans indicate customers would enter from Pearl Street and drive around the back of the lot and exit into the alley and on to Central Avenue. Colorado Department of Transportation will not allow the bank to create an additional parking lot exit on to Central Avenue because the Town's alley is already present. The bank is requesting a zero-lot line adjustment to allow for them to create a roadway that will be adjacent to the alley creating a 2-lane road; therefore, providing residents safe access to their property and a safe exit for bank customers. The following points were also made:

- The exit from the bank will be one-way only. Customers will not be allowed to enter the bank's parking lot from Central Avenue.
- Proper traffic signage will be posted and the bank's responsibility to provide and maintain.
- The only entrance that will be allowed from Central Avenue will be for residents that live on Jasper or Pearl Street that need to access their homes from the rear of their properties.
- The bank would be required to sign a License Maintenance Agreement to be approved by the Board of Trustees. The agreement would require the bank to maintain this driveway entrance/exit and hard surface the drive.

Sam Creighton was present to present information and answer questions from the Board of Adjustment Members. The Public Hearing was opened at 7:10 pm. No comments were received from the Zoom audience.

Chairman Jeffrey Palmer offered a suggestion of making the entire alley one way. Hope provided information and concern that the one way would not be monitored nor abided by. It was re-iterated that the alley is not designed for 2-way traffic and would only be considered 2-way for the first 30 feet off of Central Avenue that would be the portion that the bank would maintain.

The Public Hearing was closed at approximately 6:56 pm.

The Board of Adjustment Members did not have additional questions regarding the variance application. Tom provided additional comments that the Town may monitor the traffic for a time after the bank is fully constructed. If traffic becomes a problem, then the Town can make the alley a one way only at a later time.

CONSIDERATION OF BOARD OF ADJUSTMENT RESOLUTION 01-2021: BOA RESOLUTION 01-2021: A resolution approving a variance application for a zero-lot line setback for High Plains Bank Located at 401 Central Avenue, Wiggins, Motion was made by Adjustor Jerry Schwindt to approve Board of Adjustment Resolution 01-2021. Seconded by Adjustor Mark Strickland. Roll Call: Mark Strickland, Yes; David Herbstman, Yes; Bruce Miller, Yes; Bryan Flax, Yes; Jerry Schwindt, Yes; Pat Musgrave, Abstain; Jeffrey Palmer, yes. Motion Carries.

ADJOURNMENT

Chairman Jeffrey Palmer, upon receiving no further comments or concerns from the Board of Adjustment Members, adjourned the meeting at 6:59 pm.

Respectfully submitted:



Deborah Lee, Town Clerk



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BOARD OF ADJUSTMENT**
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Respectfully submitted:



Deborah Lee, Town Clerk



STAFF REPORT

**Board of Adjustment Meeting
January 26, 2022**

DATE: January 19, 2022

AGENDA ITEM NUMBER: 2

TOPIC: Consideration of BOA Resolution 01-2022 - A Resolution Approving an Application for a Variance Adjusting the Required Setback from Karen Street to 15-foot for the Single-Family Property Located at 475 E. 4th Avenue, Wiggins, Colorado.

STAFF MEMBER RESPONSIBLE: Tom Acre, Town Manager

BACKGROUND:

The Land Development Code requires land owners to apply for a variance when adjustments need to be made to the minimum requirements for a property. The Board of Adjustment may approve a variance if the board concludes that the current minimum requirements would result in a hardship for the applicant.

SUMMARY:

Hope and Brian Becker have applied for a setback variance for a proposed garage on their single-family property located at 475 E. 4th Avenue. The subject property is located at the northwest corner of 4th Avenue and Karen Street. The Becker's plan to construct the garage in the northeast corner of their property. Locating the overhead door from the east (Karen Street).

The Land Development Code (LDC) requires corner lots to have a 25-foot setback from the property line to the front of the building. The Becker's state in their application that moving the garage further back from the Karen Street property line would place the garage in the middle of their yard and would impact the usefulness of the backyard. The alternative solution to move the garage to the west side of the yard, off of the alley, would result in the removal of mature trees and well-established landscaping. The Becker's recognize they need a minimum setback distance for functionality of the garage and drive way access.

LAND DEVELOPMENT CODE ANALYSIS:

A variance may be granted if the BOA finds that: (Wiggins LDC § 02.14.L3)

1. If the applicant complies strictly with the provisions of the Ordinance, he can make no reasonable use of his property; or
2. The hardship of which the applicant complains is one suffered by the applicant rather than by neighbors or the general public; or
3. The hardship relates to the applicant's land, rather than the 2.41 personal circumstances; or

4. The hardship is unique and unusual, or nearly so, rather than one shared by many surrounding properties; or
5. The variance requested is the minimum that will afford relief and the least possible modification of the requirements of this Ordinance; and
6. The hardship is not the result of the applicant's own actions; and/or
7. The variance will neither result in the extension of a nonconforming situation in violation nor authorize the initiation of a nonconforming use of land, nor conflict with the goals and policies of the Comprehensive Plan

OPTIONS AVAILABLE TO THE BOARD OF ADJUSTMENT:

The Board of Adjustment may adopt this resolution as presented and grant the variance, amend the resolution, or not adopt the resolution and deny the variance.

MOTION FOR APPROVAL

I make a motion to adopt BOA Resolution 01-2022 A Resolution Approving an Application for a Variance Adjusting the Required Setback from Karen Street to 15-foot for the Single-Family Property Located at 475 E. 4th Avenue, Wiggins, Colorado.

ACTION REQUESTED

MOTION, SECOND, ROLL-CALL VOTE

(Resolutions require affirmative votes from the majority of Board of Adjustment members present.)

**TOWN OF WIGGINS, COLORADO
BOARD OF ADJUSTMENT**

BOA RESOLUTION NO. 01-2022

**A RESOLUTION APPROVING AN APPLICATION FOR A VARIANCE ADJUSTING THE
REQUIRED SETBACK FROM KAREN STREET TO 15-FOOT FOR THE SINGLE-FAMILY
PROPERTY LOCATED AT 475 E. 4TH AVENUE, WIGGINS, COLORADO**

WHEREAS, there has been submitted to the Board of Adjustment of the Town of Wiggins a request for approval of a variance to allow a 15-foot setback on the east side (on Karen Street) of the property located at 475 E.4th Avenue; and

WHEREAS, the Wiggins Land Development Code (LDC) provides the Board of Adjustment the authority to vary or modify zoning provisions applicable to property, upon the finding that certain conditions are present; and

WHEREAS, after a duly-noticed public hearing, at which evidence and testimony were entered into the record, the Board of Adjustment finds for the reasons set forth below the requested variance meets the conditions enumerated in the Wiggins LDC, and therefore should be approved.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF ADJUSTMENT OF THE TOWN OF WIGGINS, COLORADO:

Section 1. The Board of Adjustment of the Town of Wiggins finds the requested variance meets the conditions enumerated in Wiggins LDC § 02.14.L3 as set forth below:

- If the applicant complies strictly with the provisions of the Ordinance, he/she can make no reasonable use of his/her property; or
- The hardship of which the applicant complains is one suffered by the applicant rather than by neighbors or the general public; or
- The hardship relates to the applicant's land, rather than personal circumstances; or
- The hardship is unique and unusual, or nearly so, rather than one shared by many surrounding properties; or
- The variance requested is the minimum that will afford relief and the least possible modification of the requirements of this Ordinance; or
- The hardship is not the result of the applicant's own actions; or
- The variance will neither result in the extension of a nonconforming situation in violation nor authorize the initiation of a nonconforming use of land, nor conflict with the goals and policies of the Comprehensive Plan.

Section 2. In accordance with the above findings, the Board of Adjustment of the Town of Wiggins hereby approves the requested variance to allow a 15-foot setback on the east side (on Karen Street) of the property located at 475 E.4th Avenue.

INTRODUCED, ADOPTED AND RESOLVED THIS 26TH DAY OF JANUARY, 2022.

TOWN OF WIGGINS, COLORADO

Jeffrey Palmer, Chairman

ATTEST:

Deb Lee, Town Clerk



Town of Wiggins
Planning & Zoning Department
 304 E Central Avenue * Wiggins, CO 80654
 Phone: (970) 483-6161 * Fax: (970) 483-7364
townofwiggins.colorado.gov

VARIANCE APPLICATION

Please fill form out completely. Incomplete applications will not be processed.

***Please note: Applications will be placed on the Board of Adjustors' agenda when application is completed and returned with all proper documentation to the Town Hall by the 1st of each month. Board meetings are held every 4th Wednesday of each month.**

Filing Fee: \$250	Date: 1/6/2021 <i>2022</i>
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APPLICANT INFORMATION

Property Owner	Name:	Hope & Brian Becker		
	Address:	475 E 4th Avenue	City, State Zip:	Wiggins, CO 80654
	Phone:	(303) 325-1301	Email:	hope.becker5@gmail.com
<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Primary Contractor	Name:			
	Company:			
	Address:		City, State Zip:	
	Phone:		Email:	

Property Information	Address: 475 E 4th Avenue	City, State Zip: Wiggins, CO 80654
	Size (acres): 16250 sq ft	Existing Use: Residential
		Existing Zone District: R1-Residential

Description of Variance Being Requested:
 Our house sits on the corner of 4th & Karen Street. We would like to construct a 20x30 detached garage with a 10' awning at the back of our lot. There will only be one (1) bay door. The bay door would face Karen St. We would use the garage for minor car repairs and car restoration, wood working projects, and storage. The LDC requires corner lots to have 25' set backs from each street which the lot sits on. We are requesting a variance for a 15' set back from Karen St.

Documents required with the application:

- Filing fee: **\$250 PAYABLE TO: TOWN OF WIGGINS**
- Site Plan with dimensions of setbacks indicated
- Elevations
- Vesting Deed
- Authorization Letter (if applicant is not the owner)
- Please answer **ALL** questions from the back. (A separate sheet of paper may be used if necessary.)

By my signature affixed hereto, I certify that I have read and examined this application and know the same to be true and correct. I understand that the granting of a permit does not presume to give authority to violate or cancel any provisions of any state or local laws regulating a variance request.

X *Hope Becker*
 Signature of Applicant

1/6/2022
 Date

PLEASE PROVIDE ANSWERS TO ALL QUESTIONS. Questions may also be answered on a separate sheet of paper.

- A) If the applicant complies strictly with the provisions of the Ordinance, can he/she can make no reasonable use of his/her property? Please explain.

No, the building would then be in the middle of our backyard which would disrupt the existing landscaping and garden and uproot extremely aged trees. This would also prevent us from using the yard space. By placing the garage more to the east - the yard space is better porportioned for animals and family use.

- B) How is the hardship of which the applicant complains suffered by the applicant rather than by neighbors or the general public?

Because we are on a corner lot - we are required to have a deeper set back on our side yard verses a 7 foot side yard setback that would be required for other normal lots. Our house face 4th Avenue. The LDC allows for a 15' set back from the rear of the property; however, the rear of our lot shares a side yard of a residential home which faces Karen St. Our lot does not have direct side neighbors. We are seperated from another 4th Ave neighbor on our block by an alley. We are essentially a corner lot next to a corner lot.

- C) How does the hardship relate to the applicant land, rather than personal circumstances?

My neighbor is not required to have 2 deep setbacks in order to place a detached garage in their backyard. At most, they would only have to adhere to a 15 foot rear setback. As previously stated, if we follow current LDC setbacks then we have to follow more restrictions than our fellow neighbors and the building will be in the middle of our backyard. We do not have the ability to do a rear entry due to the rear lot line being landlocked.

- D) How is the hardship unique and unusual, or nearly so, rather than one shared by many surrounding properties

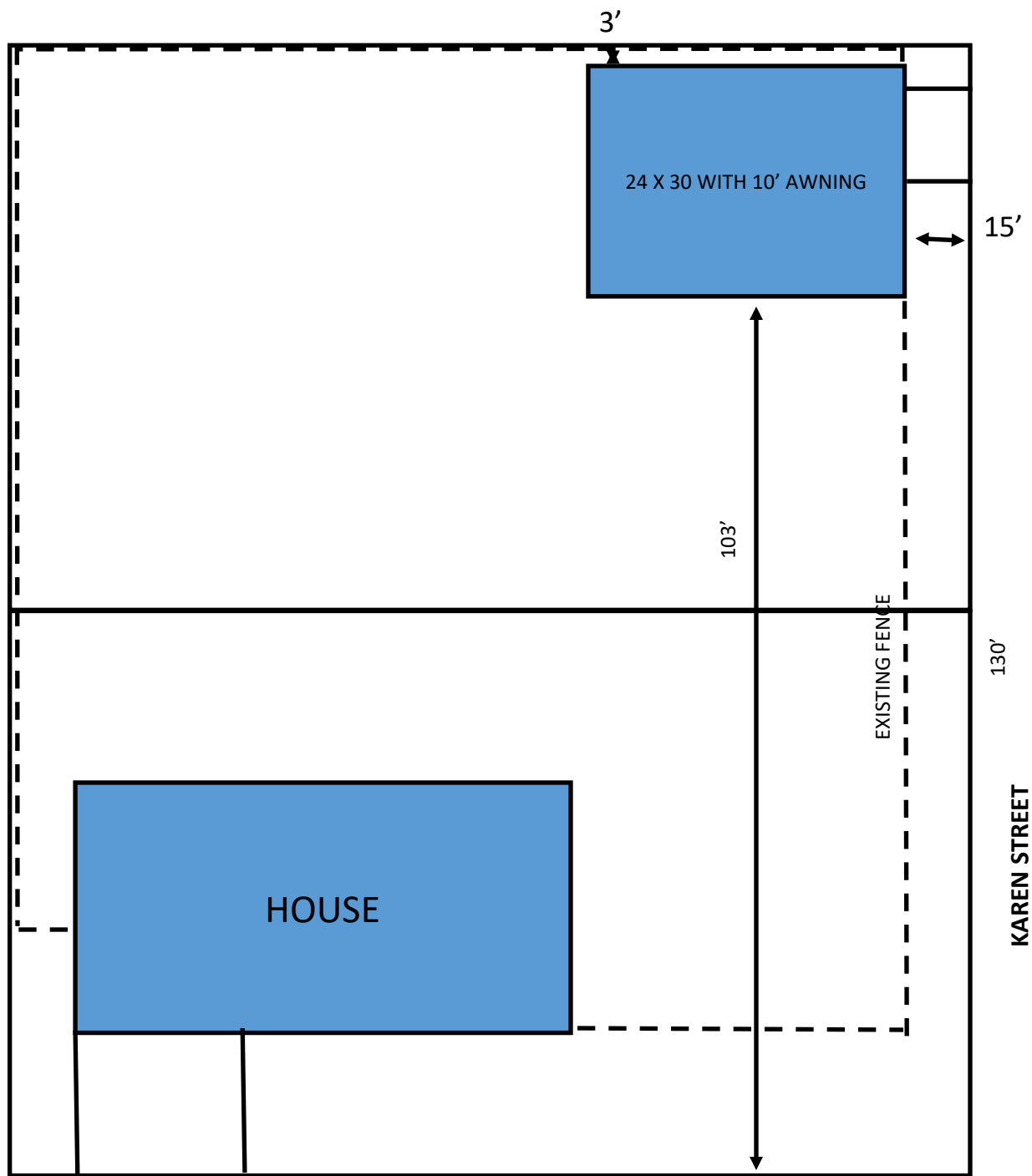
We have 2 deep 25' setbacks to adhere to that other properties along Karen Street or Ridge Street would not have to adhere to. We consider the "front" of our garage to be the man door facing south. The south side of the garage would be more than 25 feet off of 4th Avenue. The building would be set completely to the north east corner. A 15' setback would still allow for the Karen and 4th Avenue site triangle to be clear providing more than 100 feet north of the stop sign on Karen Street.

- E) How is the variance requesting the minimum that will afford relief and the least possible modification of the requirements of the Ordinance?

Allowing a 15' setback on the east side of our lot will allow for the garage facing Karen Street to not disrupt the settings of the rest of the yard. The building is not intended for permanent parking outside the bay door but will be used for minor repairs and restoration of vehicles, woodworking projects, and storage. By having it on the east versus the west yard, we would also not have to move utilites, cut down 30 year old trees, demolish a permanent dog kennel, AND the garage would be better located to allow us to still enjoy the backyard.

- F) How is the hardship not the result of the applicant's own actions?

The position of all of the landscaping & older trees in the west part of the yard are as old as the house. The house was built in 1974 which was prior to the LDC setback rqmts. The Town's alley is also on the west side of the property. The garage bay door would be more accessible from Karen St verses the town's alley. Having the garage on Karen Street would also allow us easier access to the bay door and to keep things cleared out as per the H&S ordinance verses using a ten foot alley.



125 4TH AVENUE



475 E 4th Avenue

Lot 10 & 11, Block 1,
Hillside Addition

GENERAL NOTES AND SPECIFICATIONS

- The materials and labor shown on these plans that are provided by Cleary Building Corp. are limited to those materials and labor as defined by the Cleary Building Corp. contract. Additional materials or accessories that are not being provided by Cleary Building Corp. may be shown on plans for context or building code compliance.
- This building is designed in accordance with the following codes and specifications:
 2018 International Building Code (IBC)
 2018 Edition Of "National Design Specifications for Wood Construction"

Risk Category	II
Use Group(s) Classification	U
Building Use	Private Garage
Type of Construction	Type VB
Building Area	920 Sq. Ft.

Building Design Loads:

Snow Design Data:	
Ground Snow Load (Pg)	30 PSF
Snow Exposure Factor (Ce)	1
Slope Factor (Cs)	0.94
Thermal Factor (Ct)	1.7
Snow Load Importance Factor (It)	1.0
Flat Roof Snow Load (Pf)	25.2 PSF
Sloped Roof Snow Load (Ps)	23.6 PSF
Unbalanced Snow Loads:	
	7.1 PSF Windward
	23.6 PSF Leeward
	15.78 PSF Leeward surcharge
	7.1 Ft. Width of surcharge

Wind Design Data:

Basic Design Wind Speed (V)	115 MPH
Wind Exposure	C
Design Internal Pressure Coefficient	± 0.18

Earthquake Design Data:

Basic Seismic Force Resisting System	Building Frame System/Light Frame Walls Sheathed with Wood Structural Panels or Steel Sheets
Design Base Shear	153 LBS
Seismic Response Coefficient (Cs)	0.023
Analysis Procedure Used	Equivalent Lateral Force Procedure
Seismic Design Category	B
Mapped Spectral Response Accelerations (Sa)	
(Sa ₁)	12.8%g
(Sa ₂)	4.9%g
Spectral Response Coefficients (C _{ps})	
(C _{ps1})	0.137g
(C _{ps2})	0.078g
Site Class	D
Seismic Importance Factor (I _e)	1.0
Response Modification Factor (R)	6

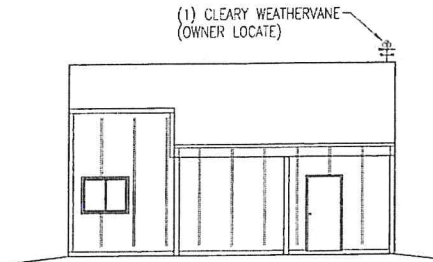
- All lumber, unless noted otherwise, shall be S4S #2 SPF or better. All lumber embedded in the ground shall be treated with Chromated Copper Arsenate to a retention level of .60 lbs. per cubic foot. AWPA U1, UC4B.
- All nails are to be threaded hardened steel unless otherwise noted.
- Grading should be such that the surface water is drained away from the foundation. Minimum grade would be six inches of vertical drop per ten feet of horizontal away from the foundation (5%).
- Fill used for concrete floor slab sub grade, if present, shall be reasonably graded granular material. Fill used in columns holes shall be the excavated soil unless noted otherwise. All fill shall be free from debris, stones over 4" and frozen material.
- Electrical work, heating, ventilating, air conditioning, plumbing, and site grading is not a part of this drawing and shall be installed as per applicable codes.
- This design is based on a building site with sand, silty sand, clayey sand, silty gravel, clayey gravel soil. As per the IRC building code and Reference Standard ASCE 486.1, an assumed soil bearing design value of 1500 psf will increase for depth and width has been used in this design. If information is discovered before or during construction contrary to this, the building designer should be contacted.

NOTE:
This building, as depicted, must be constructed 5 feet or more from any and all lot lines and 10 feet or more from any other buildings on the same lot. See IBC code and/or the local building official for exceptions.

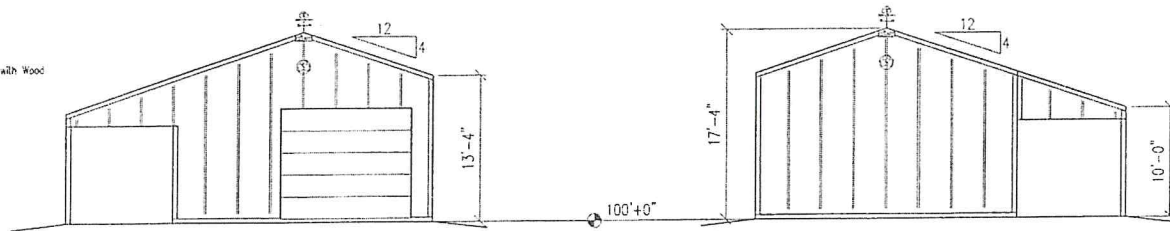
NOTE:
This document, as presented and sealed, is not intended to be, nor should it be construed as such, a complete building design. It is intended to represent just the building itself. It should also be noted that the designer is unaware of any subsurface investigation reports. Footings have been sized on assumed values as per note 8.0 under General Specifications and Notes. The designer excludes determination that the assumed soil conditions are present at the site. If a concrete floor will be installed, the design of the concrete floor is not part of these plans, nor is it intended to be. If shown, the concrete floor is only depicted to show its location with respect to related components of the building. The client or general contractor is encouraged to contract with other professional engineers or architects for the design of the concrete floor and its subgrade.

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- 131. TYPICAL SECTION B
- 140. DIAPHRAGM ACTION and MISC. DETAILS
- 150. TRUSS DIAGRAMS

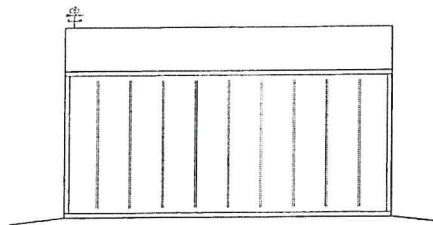


SOUTH ELEVATION



EAST ELEVATION

WEST ELEVATION



NORTH ELEVATION

CLEARY BUILDING CORP.
 190 PAOLI STREET / P O BOX 93022
 VERONA, WI 53593 / (800) 373-5556

DRAWN BY: ARAFAT
DATE DRAWN: 10/18/2021

PLAN REVISIONS:		
NUMBER	DATE	BY
1		
2		
3		
4		

PROJECT NAME:
 BECKER, BRIAN

PROJECT SITE ADDRESS:
 475 4TH AVE
 WIGGINS, CO - MORGAN COUNTY

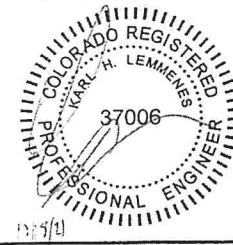
BUILDING SIZE:
 24' 0" X 30' 0" X 13' 4" & 10' 0" X 20' 3 3/4" X 10' 0"

SHEET NAME:
 EI ELEVATIONS

PROJECT NUMBER:
 2021105553

SHEET NUMBER:
 110

SHEET SCALE: NONE



COLUMNS	COLUMN SIZE	HOLE DEPTH	HOLE DIAMETER	FOOTING SIZE	NUMBER OF COLUMNS REQUIRED
(A) SIDEWALL	3-PLY 2x6x18'-0"	5'-0"	18"	9"x18" CONCRETE (SEE NOTE/DETAIL)	4
(B) CORNER	3-PLY 2x6x18'-0"	4'-10"	18"	4"x14" PRECAST CONCRETE FOOTING	4
(C) FULL LENGTH	3-PLY 2x6x18'-4"	4'-10"	18"	4"x14" PRECAST CONCRETE FOOTING	1
(D) ENDWALL	3-PLY 2x6x19'-8"	4'-10"	18"	4"x14" PRECAST CONCRETE FOOTING	1
(E) ENDWALL	3-PLY 2x6x20'-8"	4'-10"	18"	4"x14" PRECAST CONCRETE FOOTING	2
(F) ENDWALL	3-PLY 2x6x21'-4"	4'-10"	18"	4"x14" PRECAST CONCRETE FOOTING	1
(G) CORNER	3-PLY 2x6x14'-0"	4'-2"	18"	4"x14" PRECAST CONCRETE FOOTING	2
(H) SIDEWALL	3-PLY 2x6x14'-0"	4'-2"	18"	4"x14" PRECAST CONCRETE FOOTING	1

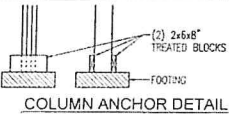
- NOTES:**
1. FIELD VERIFY ALL DOOR AND WINDOW ROUGH OPENING SIZES PRIOR TO INSTALLING FRAME-OUTS
 2. ATTACH ALL ROOF, SIDE, END AND GABLE STEEL WITH PAINTED SCREWS
 3. ENDWALL COLUMNS ARE 3-PLY TO THE BUILDING EAVE HEIGHT AND 1-PLY FROM THERE TO THE ROOF PLANE
 4. 2x6 STANDARD DIAGONAL CORNER BRACING AT ALL CORNERS (UNLESS OTHERWISE NOTED)
 5. 2x6 JACKBRACING AT ENDWALL COLUMNS (NOT NOTED AT FULL LENGTH COLUMNS)
 — = LOCATION ON FLOOR PLAN FOR JACKBRACING
 (SEE DIAPHRAGM ACTION and MISC. DETAILS SHEET)
 6. 2x4 PURLIN BRACING AT ENDWALL TRUSSES

BUILDING COLORS		BUILDING ACCESSORIES	
ROOF:	SIERRA	(1) CLEARLY WEATHERVAPE (OWNER LOCATE)	
SIDES/GABLES:	HICKORY MOSS	TRIM ALL VERTICAL J-TRIM WITH GEMINI TRIM	
WAINSCOT:	---		
SLIDE DOOR(S):	---		
TRIM (TYP.):	SIERRA		
F&J TRIM:	---		

NOTE:
 8 TOTAL BAGS OF SACKCRETE REQUIRED FOR FOOTINGS AND COLUMN ANCHORAGE

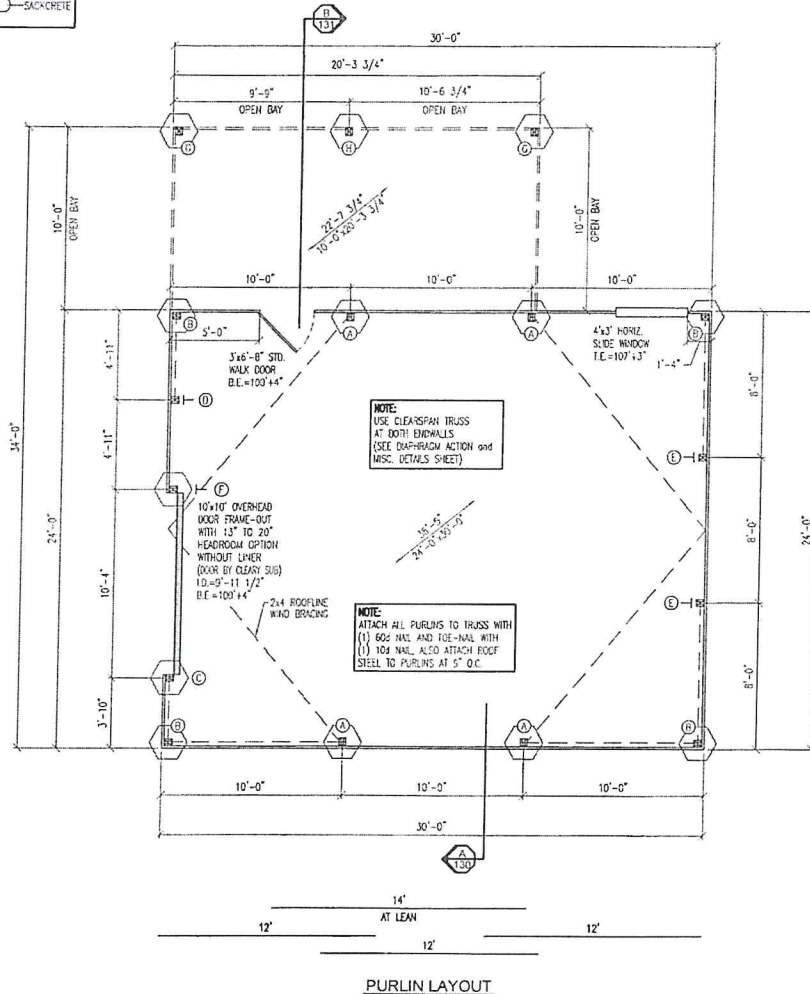
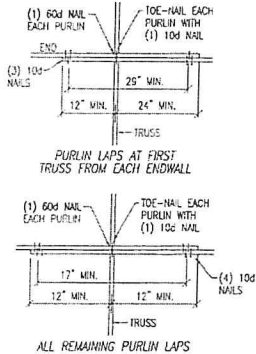
NOTE:
 3'-18" CONCRETE = (3) 60# BAGS OF SACKCRETE PLACED UNDER 4"x14" PRECAST FOOTING AS SHOWN

○ = ANCHOR COLUMNS WITH (2) 2x6x8" TREATED BLOCKS ATTACHED TO COLUMN WITH (3) 20# NAILS PER EACH BLOCK FOR UPLIFT
 NOTE: COLUMN SETS ON TOP OF FOOTING - CHECK COLUMN CHART FOR EXACT FOOTING SIZE REQUIREMENTS



CONT. PURLIN DESIGN

CONSTRUCTION FOREMAN NOTE:
 BE SURE TO MAINTAIN THE OVERALL LAP DISTANCE AND THE SPACING FROM PURLIN END TO CENTER OF TRUSS AS SHOWN



DRAWN BY: ARAFAT
 DATE DRAWN: 10/18/2021

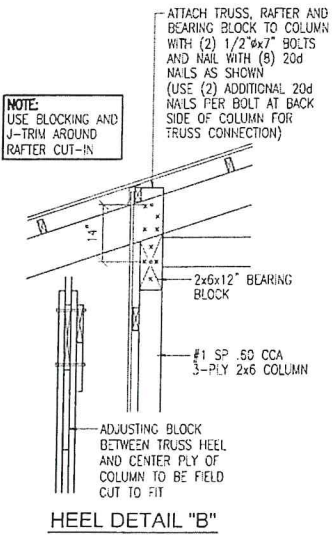
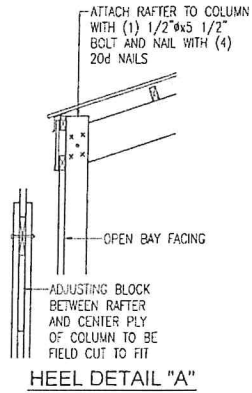
PLAN REVISIONS:		
NUMBER	DATE	BY
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PROJECT NAME: **BECKER, BRIAN**
 PROJECT SITE ADDRESS: 475 4TH AVE WIGGINS, CO - MORGAN COUNTY
 BUILDING SIZE: 24' 0" X 30' 0" X 13' 4" & 10' 0" X 20' 3 3/4" X 10' 0"
 SHEET NAME: EL 0000 RI. A.M.

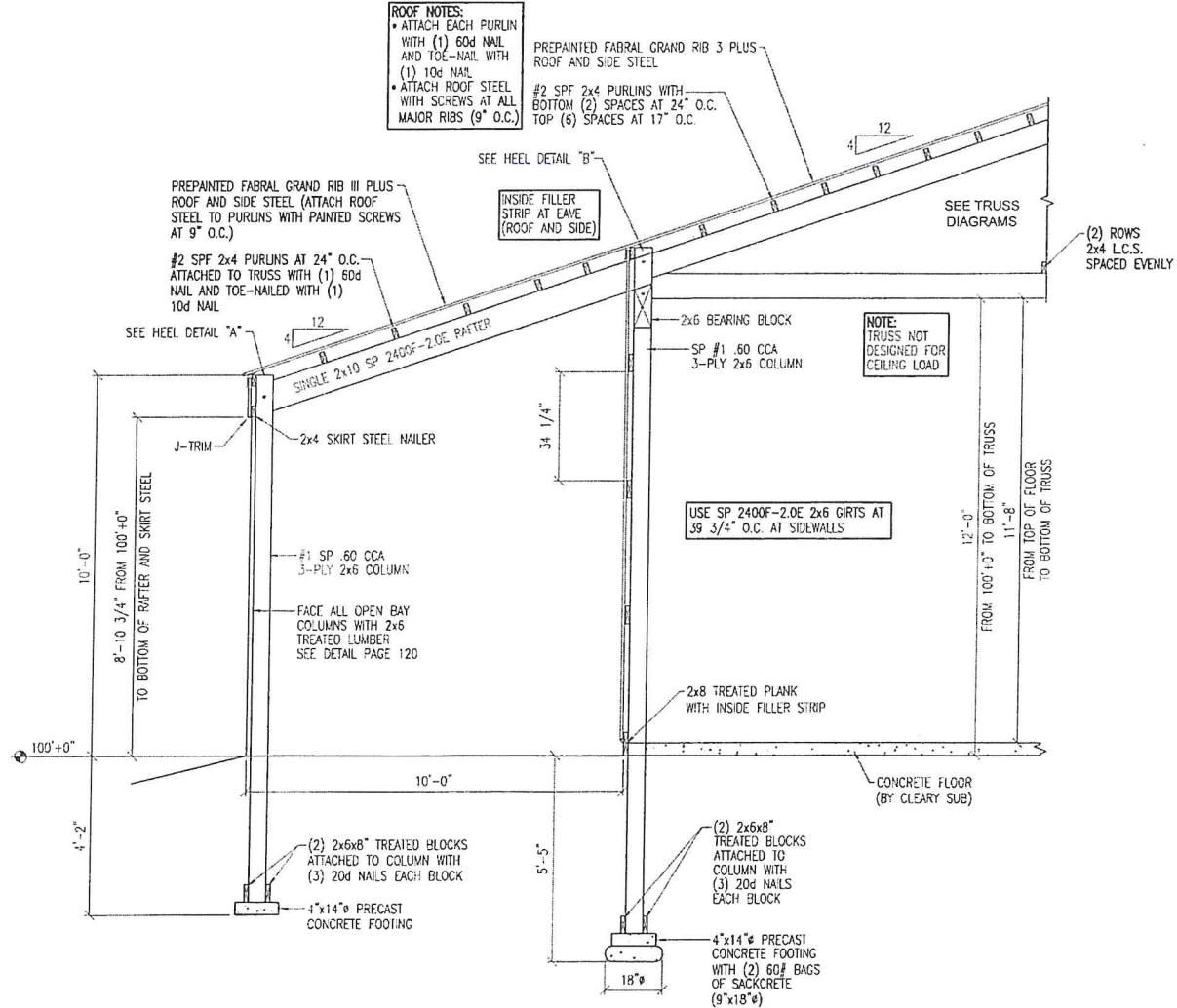
PROJECT NUMBER: **2021105553**
 SHEET NUMBER: **120**
 SHEET SCALE: NONE





ROOF NOTES:

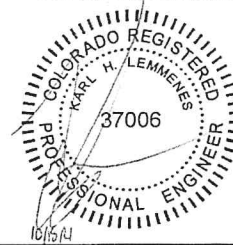
- ATTACH EACH PURLIN WITH (1) 60d NAIL AND TOE-NAIL WITH (1) 10d NAIL
- ATTACH ROOF STEEL WITH SCREWS AT ALL MAJOR RIBS (9" O.C.)

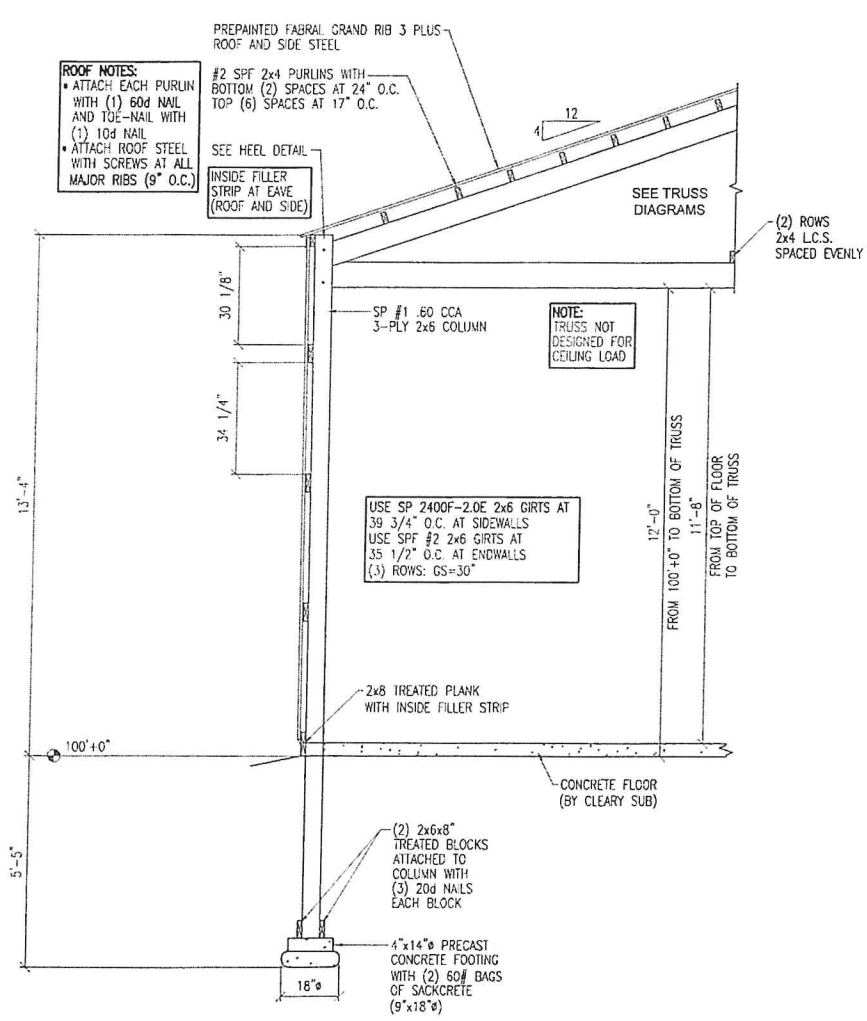


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PROJECT NAME: **BECKER, BRIAN**
PROJECT SITE ADDRESS: **475 4TH AVE WIGGINS, CO - MORGAN COUNTY**
BUILDING SIZE: **24' 0" X 30' 0" X 13' 4" & 10' 0" X 20' 3 3/4" X 10' 0"**
SHEET NAME: **GENERAL CONTRACT**

PROJECT NUMBER: **2021105553**
SHEET NUMBER: **131**
SHEET SCALE: **NONE**





ROOF NOTES:
 • ATTACH EACH PURLIN WITH (1) 60d NAIL AND TOE-NAIL WITH (1) 10d NAIL
 • ATTACH ROOF STEEL WITH SCREWS AT ALL MAJOR RIBS (9" O.C.)

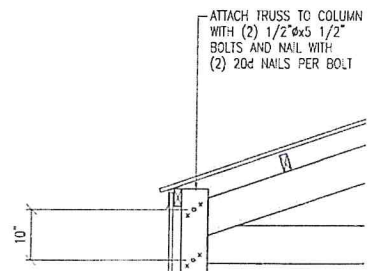
#2 SPF 2x4 PURLINS WITH BOTTOM (2) SPACES AT 24" O.C. TOP (6) SPACES AT 17" O.C.

SEE HEEL DETAIL
 INSIDE FILLER STRIP AT EAVE (ROOF AND SIDE)

NOTE:
 TRUSS NOT DESIGNED FOR CEILING LOAD

USE SP 2400F-2.0E 2x6 GIRTS AT 39 3/4" O.C. AT SIDEWALLS
 USE SPF #2 2x6 GIRTS AT 35 1/2" O.C. AT ENDWALLS
 (3) ROWS: GS=30"

ATTACH TRUSS TO COLUMN WITH (2) 1/2"x5 1/2" BOLTS AND NAIL WITH (2) 20d NAILS PER BOLT



ADJUSTING BLOCK BETWEEN TRUSS HEEL AND CENTER PLY OF COLUMN TO BE FIELD CUT TO FIT

HEEL DETAIL

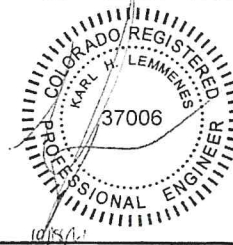
CLEARY BUILDING CORP.
 190 PAOLI STREET / P.O. BOX 93
 VERONA, VA 53593 / (800) 373-33

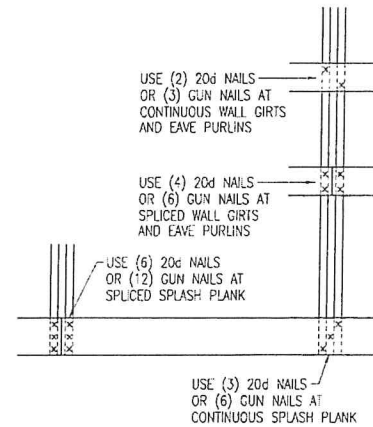
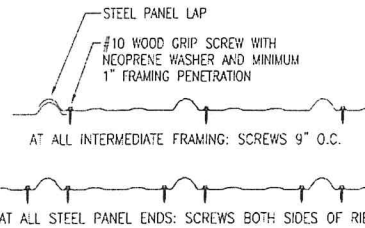
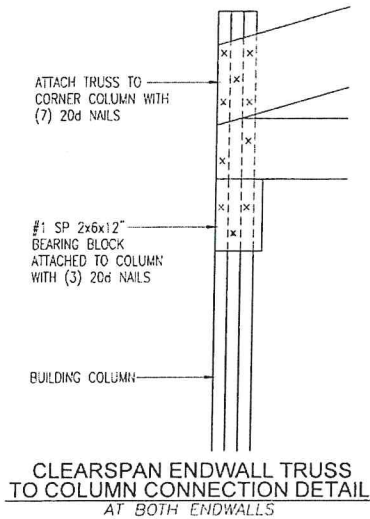
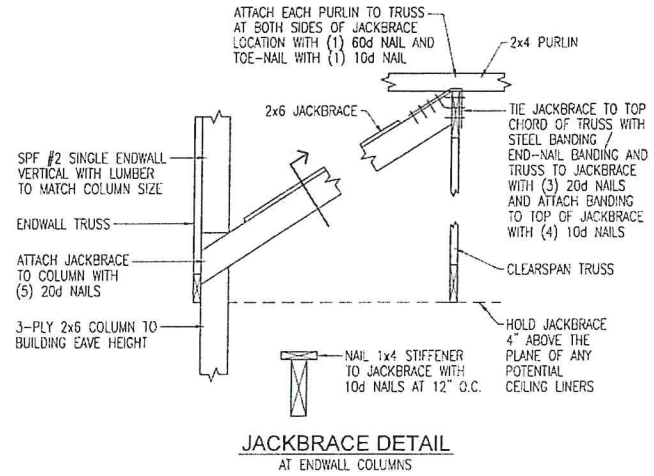
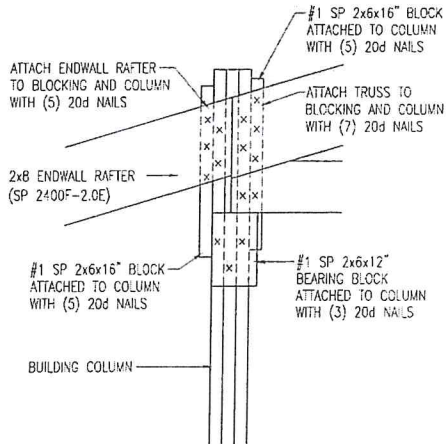
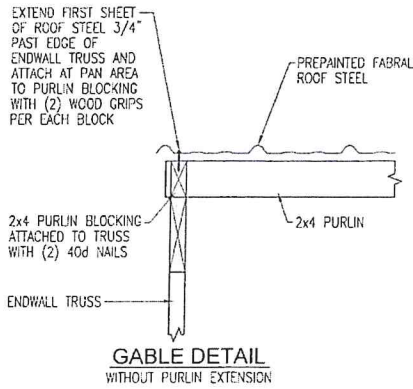
DRAWN BY: ARAFAT
 DATE DRAWN: 10/18/2021

PLAN REVISIONS:		
NUMBER	DATE	BY
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PROJECT NAME: **BECKER, BRIAN**
 PROJECT SITE ADDRESS: **475 4TH AVE WIGGINS, CO - MORGAN COUNTY**
 BUILDING SIZE: **24' 0" X 30' 0" X 13' 4" & 10' 0" X 20' 3 3/4" X 10' 0"**
 SHEET NAME:

PROJECT NUMBER: **2021105553**
 SHEET NUMBER: **130**
 SHEET SCALE: **NONE**





NOTE: PAN NAILS MAY BE SUBSTITUTED FOR PANEL END FASTENERS WHEN CONCEALED BY FLASHING

NOTE: 20d NAILS TO BE RING SHANK HOT DIPPED GALVANIZED
GUN NAIL ALTERNATE = 0.131x3 1/2 RS-TLN

NOTE: SPLASH PLANK AT BRACING LOCATIONS REQUIRE ADDITIONAL FASTENERS (SEE BRACING DETAIL SHEET)

CLEARY
BUILDING CORP.

190 PAOLI STREET / P.O. BOX 932
VERONA, WI 53593 / (608) 373-5555

DRAWN BY: ARAFAT

DATE DRAWN: 10/18/2021

PLAN REVISIONS:

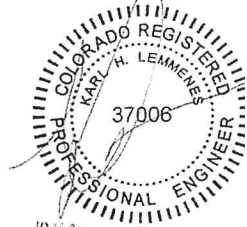
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PROJECT NAME: **BECKER, BRIAN**
PROJECT SITE ADDRESS: 475 4TH AVE
WIGGINS, CO - MORGAN COUNTY
BUILDING SIZE: 24' 0" X 30' 0" X 13' 4" & 10' 0" X 20' 3 3/4" X 10' 0"

PROJECT NUMBER: **2021105553**

SHEET NUMBER: **140**

SHEET SCALE: NONE



10/18/21

**TOWN OF WIGGINS, COLORADO
NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Wiggins Board of Adjustments will hold a public hearing at 6:30 p.m. on Wednesday, January 26, 2022.

The purpose of the hearing will be to consider a variance application located at Hillside Addition, W1 Block: 01 Lot: 10 & 11. The physical Address is known as 475 E 4th Avenue, Wiggins, CO.

Any person may appear at the public hearing and be heard regarding the matters under consideration. This meeting will be held at Wiggins Town Hall, 304 E Central Avenue, Wiggins, CO 80654, and via ZOOM. ZOOM will allow community members to participate remotely in the meetings during the public comment section. Please look on the town's website - townofwiggins.colorado.gov - for information on how to participate in the electronic meeting.

Copies of the proposed request will be on file and available for public inspection in Wiggins Town Hall, located at 304 E Central Avenue, Wiggins, Colorado, 80654, during regular business hours M-F 8:30AM-4:30PM.

Dated the January 11, 2022.

Published January 13, 2022 in the Fort Morgan Times.

TOWN OF WIGGINS, COLORADO

Tom Acre
Town Manager

Published: Fort Morgan Times January 13, 2022-1862089

Prairie Mountain Media, LLC

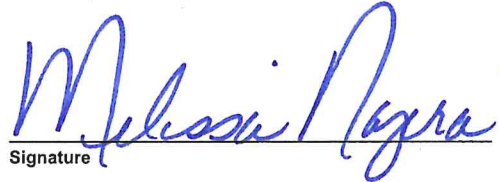
PUBLISHER'S AFFIDAVIT

**County of Morgan
State of Colorado**

The undersigned, Melissa Najera, being first duly sworn under oath, states and affirms as follows:

1. He/she is the legal Advertising Reviewer of Prairie Mountain Media LLC, publisher of the *Fort Morgan Times*.
2. The *Fort Morgan Times* is a newspaper of general circulation that has been published continuously and without interruption for at least fifty-two weeks in Morgan County and meets the legal requisites for a legal newspaper under Colo. Rev. Stat. 24-70-103.
3. The notice that is attached hereto is a true copy, published in the *Fort Morgan Times* in Morgan County on the following date(s):

Jan 13, 2022


Signature

Subscribed and sworn to me before me this 13th day of January, 2022.


Notary Public

(SEAL)

**SHAYLA NAJERA
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 20174031965
MY COMMISSION EXPIRES July 31, 2025**

Account: 1050049
Ad Number: 1862089
Fee: \$33.12